



# **AGENDA**

## **DESIGN REVIEW COMMITTEE**

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**July 11, 2019**

**5:30 p.m.**

**2<sup>nd</sup> Floor Council Chambers**  
**1095 Duane Street • Astoria OR 97103**

1. CALL TO ORDER
2. ROLL CALL
3. MINUTES
  - a. No new minutes to review.
4. PUBLIC HEARINGS
  - a. Design Review (DR19-02) by Walt Postlewait to construct four buildings of 66 mixed apartment/transient lodging units at 461 32<sup>nd</sup> Street within the Gateway Overlay Zone and Civic Greenway Overlay Zone in the C-3 Zone.
5. REPORT OF OFFICERS
6. STAFF UPDATES / STATUS REPORTS
  - a. Save the dates
    - i. Next DRC meeting: Thursday, August 1, 2019 @ 5:30pm
7. PUBLIC COMMENTS (Non-Agenda Items)
8. ADJOURNMENT

|   |
|---|
| <p><b>AN INTERPRETER FOR THE HEARING IMPAIRED MAY BE REQUESTED<br/>UNDER THE TERMS OF ORS 192.630 BY CONTACTING THE COMMUNITY<br/>DEVELOPMENT DEPARTMENT, 503-338-5183.</b></p> |
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## STAFF REPORT AND FINDINGS OF FACT

June 26, 2019

TO: DESIGN REVIEW COMMITTEE

FROM: ROSEMARY JOHNSON, PLANNING CONSULTANT

SUBJECT: DESIGN REVIEW REQUEST (DR19-02) BY WALT POSTLEWAIT TO  
CONSTRUCT 66 UNIT RESIDENTIAL / TRANSIENT LODGING MIXED USE  
IN FOUR BUILDINGS AT 461 32ND STREET

### I. BACKGROUND SUMMARY

- A. Applicant: Walt Postlewait  
36468 River Point Drive  
Astoria OR 97103
- B. Owner: Four B's LLC  
c/o George & Shirley Brugh  
PO Box 204  
Astoria OR 97103
- C. Location: 461 32nd Street; Map T8N-R9W Section 9BD, Tax Lots 800, 901, 1000; north 75' Lots 1 to 6, Block 149, Shively; and unplatted lots fronting Block 149, Shively
- D. Zone: C-3 (General Commercial), Gateway Overlay, Civic Greenway Overlay
- E. Proposal: To construct four buildings with 66 units of mixed use residential and transient lodging

### II. BACKGROUND

#### Site:

The subject property is located on the north side of Marine Drive, between 31st and 32nd Streets, adjacent to the River Trail. The location lies within the Civic Greenway and Gateway Overlay Zones.

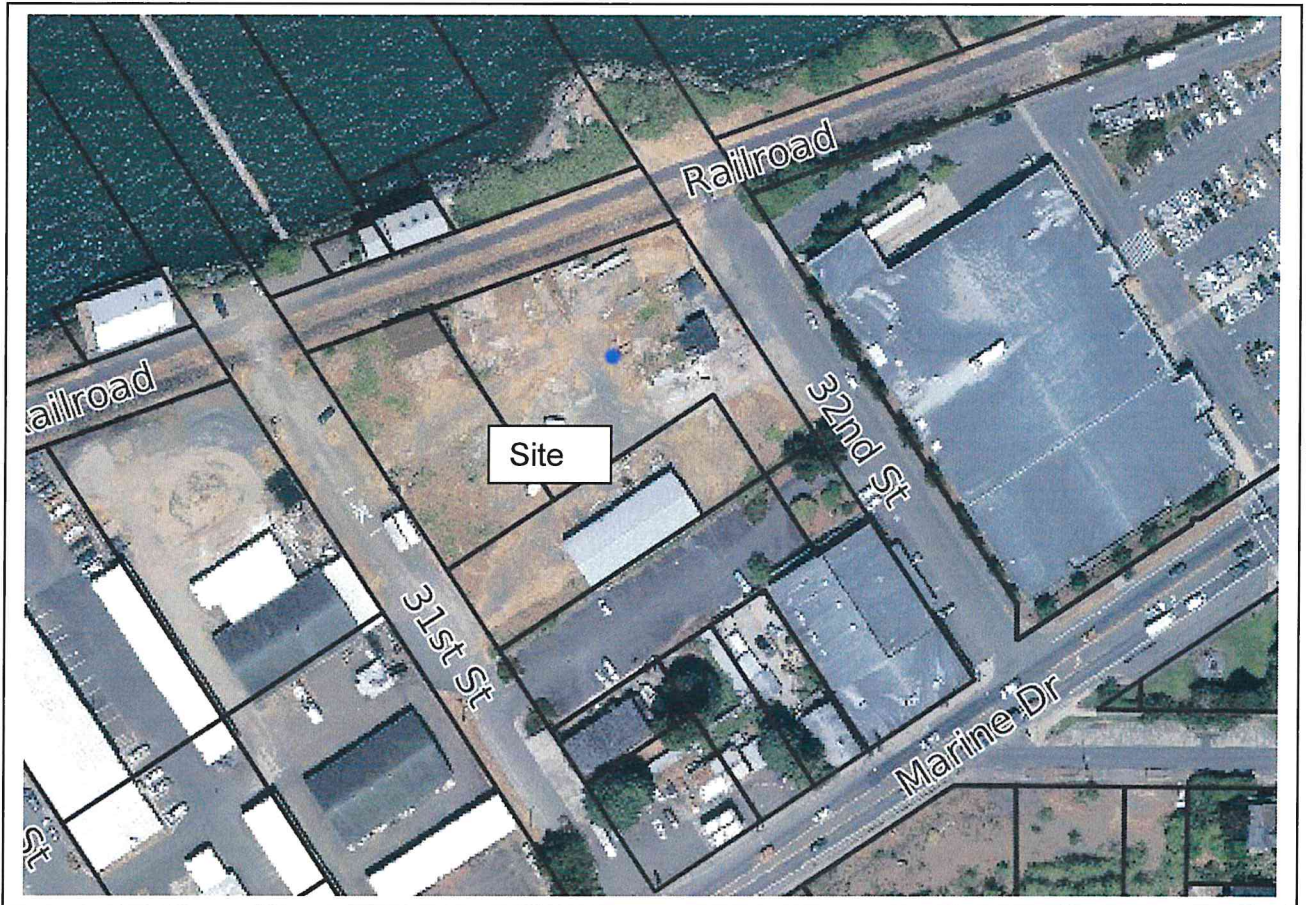


The site was formerly Beehive Roofing and A-1 Concrete plant location with shop and construction yard. The applicant will be submitting an environmental report on the site for City review prior to construction. The site is relatively flat with approximately 4' elevation change. The site is adjacent to a structure designated as historic. The

applicant has applied for a New Construction Permit (NC19-04) to be reviewed by the Historic Landmarks Commission on July 16, 2019.

Neighborhood:

The site is bounded on the north by the River Trail / trolley line, Columbia River, a mixed residential / commercial building on the River, and "Big Red" former net loft; on the east by Safeway; on the west by City Public Works shops and yard; and on the south across a driveway by a veterinary clinic, auto repair shop, and the former ESD offices.



Proposal:

To construct four buildings, three stories tall, with the following uses:

- |            |   |
|------------|---|
| Building A | 15 units (12 one bedroom, 3 two bedroom) - west side facing River Trail           |
| Building B | 21 units (12 one bedroom, 3 two bedroom) - east side facing River Trail           |
| Building C | 12 units (12 one bedroom, office/maintenance room) - east side facing 32nd Street |
| Building D | 18 units (18 one bedroom) - west side facing 31st Street                          |

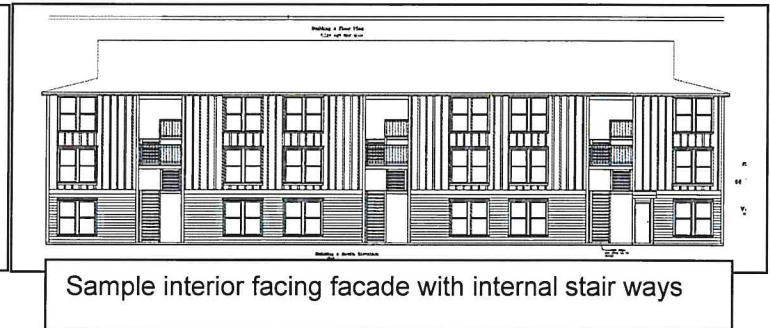


Parking will be uncovered and located in the center of the lot, surrounded by the four buildings. Long and short-term bicycle parking will be located in the northwest corner of the lot.





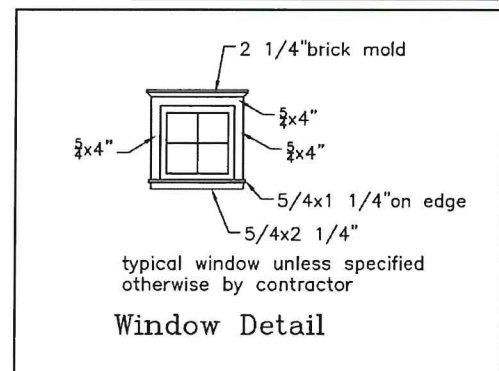
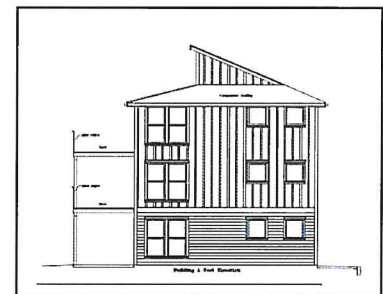
Style: three story with a hip and half monitor roof, rectangular shaped building.  
Access stairs are internal within the building footprint and not visible from the right-of-way or River Trail. Fronts of each building will face the River Trail or right-of-way to make the entrances more pedestrian friendly. A one-story office will be located on the north side of Building C.



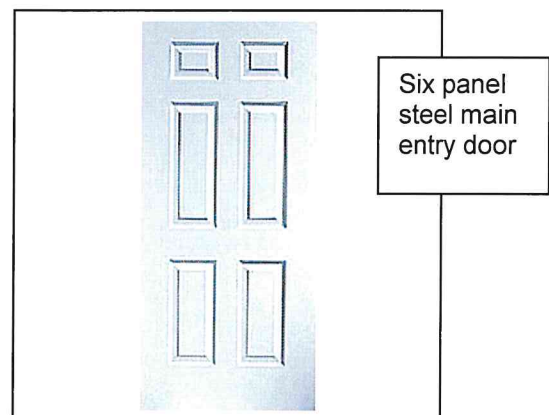
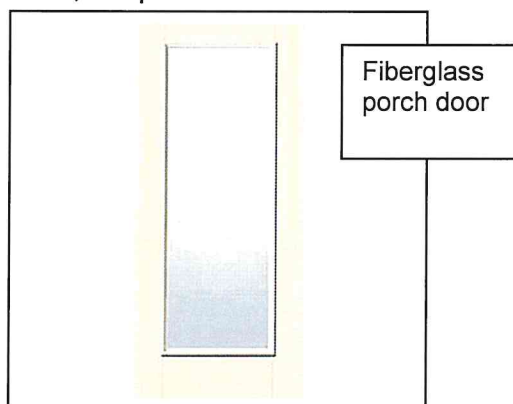
Roof: Hip roof with shed half monitor roof at 4:12 and 5:13 pitch; composition shingles in subdued color.

Siding: Smooth, fiber cement siding; 5" to 6" lap exposure on first floor; upper floors to be board and batten with 1x3 battens.

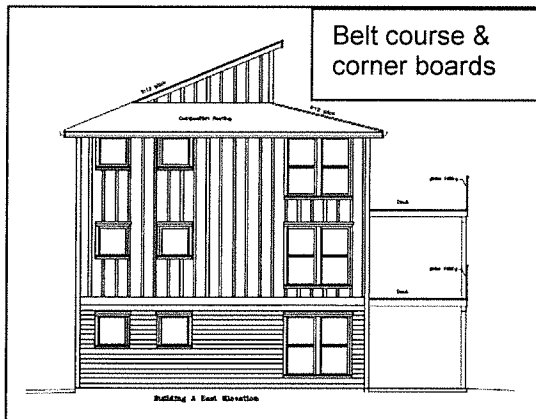
Windows: Clear glass, vinyl windows, one over one single hung, installed with 2" depth to plane of facade; 5/4 x 4" smooth fiber cement casing on all windows and doors; minimum 18" clearance from floor level to bottom of windows; front facades facing right-of-way or River Trail have minimum 30 to 31% window coverage.



Doors: Porch and patio doors will be full lite fiberglass; main entry doors are steel fire rated, six panel doors with no lites.

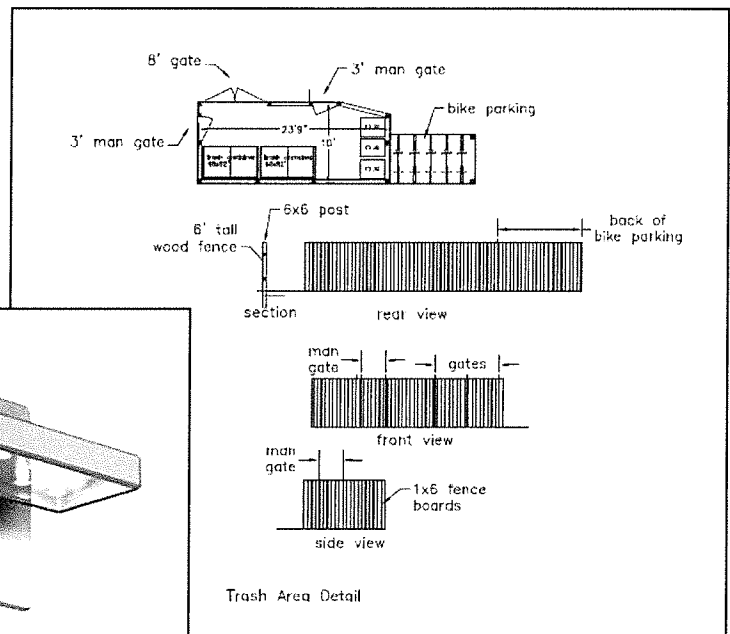


Other Design Elements: Belt course between first and second floor; corner boards; porches will be approximately 10' x 20' with glass and metal railing system; 4' to 6' privacy wall between unit porches

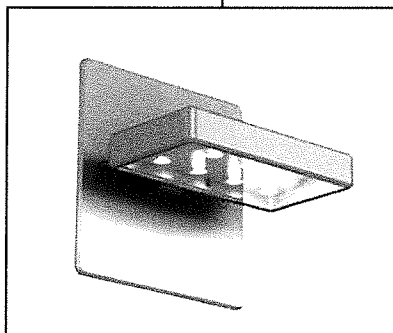


Glass & metal railing system with privacy walls

Trash Enclosure: A solid waste disposal enclosure is proposed in the middle of the parking area; 6' tall vertical wood board fence with utility and man gates; bicycle parking will be attached to the enclosure with same fencing.



Exterior Lighting: Exterior lighting with wall mounted fixtures.



### III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 250 feet pursuant to Section 9.020 on June 17, 2019. A notice of public hearing was published in the *Astorian* on July 4, 2019. On site notice pursuant to Section 9.020.D was posted on June 18, 2019. Any comments received will be made available at the Design Review Committee (DRC) meeting.

### IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 14.015.B, General Provisions, in the Gateway Overlay Zone requires that *"each public or private development proposal within the Gateway Overlay Zone will be reviewed for consistency with the Design Review Guidelines in Sections 14.020 through 14.030."*



Section 14.035, Purpose, in the Civic Greenway Overlay Zone, states *"The purpose of the Civic Greenway Overlay Zone is to implement the land use principles of the Astoria Riverfront Vision Plan, dated December 2009, as they pertain to the Civic Greenway Plan Area. The Civic Greenway Overlay (CGO) Zone is intended to protect views of and access to the Columbia River, provide for an enhance open space and landscaping, support water-dependent uses consistent with Astoria's working waterfront, and encourage modest scale housing in areas recommended for residential use. The CGO Zone extends from approximately 16th Street to 41st Street and between Marine Drive and the Columbia River as depicted on the City's Zoning Map."*

Section 14.005, Purpose, in the Gateway Overlay Zone, states *"The purpose of the Gateway Overlay Zone is to implement the concepts and guidelines of the Astoria Gateway Master Plan, dated April 1997. The Gateway Overlay Zone is intended to be an intensively developed, mixed-use area which complements Downtown Astoria and the community as a whole."*

Finding: The proposed project is a private development to be constructed within the Gateway and Civic Greenway Overlay Zones and as such will be reviewed for consistency with the Design Review Guidelines. The base zone allows for multi-family residential development and transient lodging. The mixed-use project would complement Downtown as it does not conflict with other uses in the Downtown. Additional rented housing is needed in Astoria and the proposed mixed-use would allow the applicant to provide housing at a reasonable market rate. This criteria is met.

- B. Section 14.020, Applicability of Design Review Guidelines in the Gateway Overlay Zone states that the *"Design Review Guidelines shall apply to all new construction or major renovation. The guidelines are intended to provide fundamental principles that will assist in the review of the proposed development. The principles identify both "encouraged" and "discouraged" architectural elements. They are broad design objectives and are not to be construed as prescriptive standards."*

Finding: The project is new construction and as such is subject to the Design Review Guidelines. This criteria is met.

- C. Section 14.040.B, Applicability and Review Procedures, Non-residential and Mixed-Use Development, in the Civic Greenway Overlay Zone states *"Applications shall be reviewed through the public design review process subject to the Design Review Guidelines in Section 14.025."*

Finding: This project is a mixed residential and commercial use and therefore requires review by the Design Review Committee.

- D. Section 14.025.A, Gateway Overlay, Purpose, states *"These guidelines promote architectural elements that unify the Gateway Area by encouraging styles characteristic of Astoria. The historic architecture of Astoria is*

*represented by a variety of styles. Differences in details may be seen from one neighborhood to the next. These guidelines advocate the simplicity of design which is characteristic of Uppertown and the working waterfront. Building styles and details not inspired by Astoria's past will be discouraged. Monotony of design should be avoided. Variety of detail, form, and siting should be used to provide visual interest.*

*The Gateway Plan encourages new construction to reflect historic building types found in the Uppertown area. Three historic building types commonly found in the area include waterfront industrial, commercial, and residential. These building types may be used as models for contemporary building design, but do not restrict or define their function.*

*The Guidelines make reference to, but do not require the use of, historic materials. Contemporary substitutions (i.e. composite materials), will not be discouraged if their texture, profile, and proportions are similar to those materials with historic precedent."*

Finding: Three historic building types commonly found in the area include waterfront industrial, commercial, and residential. The proposed development is a mixed use of multi-family residential and commercial transient lodging. The structures are three story tall with a half monitor roof and utilize the characteristics of waterfront buildings with the use of horizontal siding with board and batten. The buildings are a simple rectangular plan built around a central internal parking area. Building entrances face the rights-of-way and River Trail. Proposed materials are contemporary fiber cement siding of horizontal boards on the first floor and board and batten on the upper floors, and vinyl windows. These features reflect the historic design of the area with window and door casings, one over one windows installed to a 2" depth, and siding design, belt course, and corner boards similar to other Uppertown building facades.

E. Section 14.025.B in the Gateway Overlay Zone identifies the building forms encouraged.

1. *All Building Types: a) Simple designs without extraneous details; b) Rectangular in plan; c) Square in plan.*
2. *Waterfront Industrial: a) Low in form; b) Cubic in form.*
3. *Commercial: a) Low in form.*
4. *Residential: a) Vertical in form; b) Cubic in form; c) Full front porch or front porch large enough to accommodate several seated persons."*

Section 14.025.C in the Gateway Overlay Zone identifies the building forms discouraged.



- "1. *All Building Types: a) Complex building footprints; b) Sprawling structures.*"

Finding: The buildings would be rectangular configured facing the right-of-way to create internal parking area. Building details are simple. Each unit contains a porch of approximately 10' x 20' which is large enough to accommodate several seated persons. The building footprint is not complex, nor sprawling. This guideline is met.

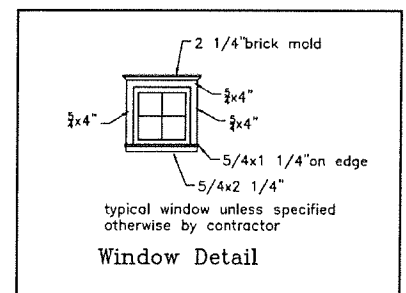
- F. Section 14.025.D in the Gateway Overlay Zone identifies the windows encouraged.

- "1. *All Building Types: a) True-divided, multiple-light windows; b) Single-light windows; c) Applied muntins with profile facing window exterior; d) Rectangular windows with vertical proportions; e) Fixed windows; f) Double or single-hung windows; g) Casement windows; h) Windows should be spaced and sized so that wall area is not exceeded by window area, with the exception of commercial storefronts.*
2. *Waterfront Industrial: a) Square or rectangular windows with multiple lights.*
3. *Commercial: a) Storefronts: 1) Plate glass windows with multiple-light transom windows above; 2) Recessed entries; 3) Window to wall surface proportions may be exceeded; b) Upper Stories: 1) Window area should not exceed wall area.*
4. *Residential a) Vertical rectangle or square windows; b) Combination of single and multiple-light windows; c) Single windows, paired windows, or windows grouped in threes; d) Bay windows; e) Arched or decorative shaped windows used sparingly; f) Windows should use casings and crown moldings."*

Section 14.025.E in the Gateway Overlay Zone identifies windows discouraged.

- "1. *All Building Types: a) Applied muntins which have no profile; b) Smoked glass; c) Mirrored glass; d) Horizontal sliding windows; e) Walls predominated by large expanses of glass, except in commercial storefronts; f) Windowless walls. Large expanses of blank walls should only be located in areas which are not visible to the public; g) Aluminum frame windows, except in commercial storefronts."*

Finding: Proposed windows are single and paired, one over one, rectangular, clear glass, with 5/4 x 4" casing. Windows in the upper half monitor area and some on the side elevations are square. All elevations have multiple windows and there are no large expanses of blank walls.



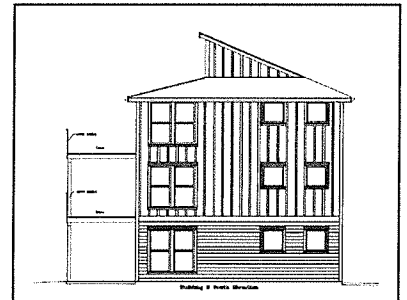
- G. Section 14.025.F in the Gateway Overlay Zone identifies exterior wall treatments encouraged.

- “1. All Building Types: a) Drop siding; b) Weatherboard siding; c) Horizontal siding with six inches or less exposure.
2. Waterfront Industrial: a) Board and batten style; b) Galvanized corrugated metal.
3. Commercial: a) Finished concrete; b) Brick veneer.
4. Residential: a) Clapboard; b) Wood shingle (rectangular); c) Decorative wood shingle.”

Section 14.025.G in the Gateway Overlay Zone identifies exterior wall treatments discouraged.

- “1. All Building Types: a) Exposed textured, concrete block; b) Flagstone or other applied stone products; c) Precast concrete or decorative concrete panels; d) Wood shakes; e) Plywood paneling.”

Finding: The structures are proposed to be sided with a mixture of horizontal siding on the first floor with 5” to 6” reveal. Upper floors are proposed to be board and batten with 1x3 battens. All siding would be smooth fiber cement siding. No faux texturing is proposed.



- H. Section 14.025.H in the Gateway Overlay Zone identifies the roof elements encouraged.

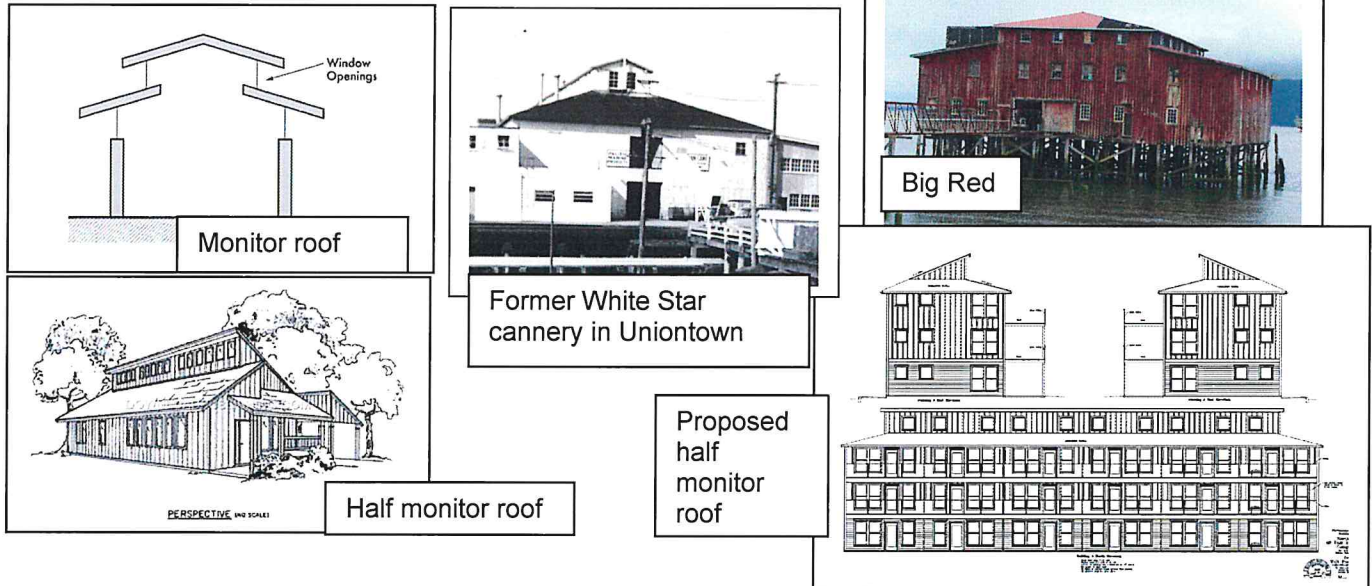
- “1. Waterfront Industrial: a) Single gable with low pitch; b) Repetitive gable with steep pitch; c) Shallow eaves; d) Small shed roof dormers; e) Monitor roof on ridge line; f) Flat panel skylights or roof window.
2. Commercial: a) Single gable with low pitch; b) Repetitive gable with steep pitch; c) Shallow eaves behind parapet wall; d) Flat or gable roof behind parapet wall; e) Structural skylights.
3. Residential: a) Steep gable with broad eaves; b) Steep hip with broad eaves; c) Dormers with gable, hip, or shed roofs; d) Flat panel skylights or roof window on secondary elevations; e) Turrets or large projecting window bays used sparingly.”

Section 14.025.I in the Gateway Overlay Zone identifies the roofing elements discouraged.



- “1. All Building Types: a) False mansard or other applied forms; b) Dome skylights.”

Finding: The structure will have a hip roof with a half monitor roof. A “monitor” roof generally has two sides with windows and sits along the ridge of a pitched roof. A half monitor roof has a roof pitch that extends from the main roof and has windows on one side only. Monitor roofs are similar to clerestory roofs which were both common on waterfront buildings in Astoria. Prior to the storm of 2007 which destroyed the upper floor, Big Red (historic net loft adjacent to the proposed site), had a wide monitor roof.



The hip roof would have a 4:12 pitch and the half monitor roof would have a 5:12 pitch.

- I. Section 14.025.J in the Gateway Overlay Zone identifies roofing materials encouraged.

- “1. All Building Types: a) Cedar shingle; b) Composition roofing; c) Roofing material in gray, brown, black, deep red, or other subdued colors.
2. Waterfront Industrial: a) Galvanized corrugated metal; b) Low profile standing seam, metal roof; c) Roll down.
3. Commercial: a) Built-up.”

Section 14.025.K in the Gateway Overlay Zone identifies roofing materials discouraged.

- “1. All Building Types: a) High profile standing seam, metal roof; b) Brightly colored roofing material.”

Finding: The roofing material proposed is composition shingles in a subdued color. The exact color has not been identified but would be reviewed by the Planner prior to installation (Condition 1).

- J. Section 14.025.N in the Gateway Overlay Zone identifies exterior lighting encouraged.

- "1. All Building Types: a) Decorative lighting integrated with architecture; b) Metal halide or incandescent; c) Pedestrian and traffic signals combined with street lamps; d) Light fixtures that direct light downward and eliminate glare.*
- 2. Waterfront Industrial: a) Industrial pan light with goose neck; b) Low bollard lighting.*
- 3. Commercial: a) Historic street lamps along walks and parking lots."*

Section 14.025.O in the Gateway Overlay Zone identifies exterior lighting discouraged.

- "1. All Building Types: a) Sodium vapor (amber); b) Fluorescent tube; c) Cobra head street lamps or other contemporary fixtures; d) Fixtures with undiffused, undirected light that do not focus the light to the ground and that will potentially destroy the night sky view."*

Section 14.070.A.2, Other Development Standards in the Civic Greenway Overlay Zone states *"The following development standards are applicable within the Civic Greenway Overlay Zone.*

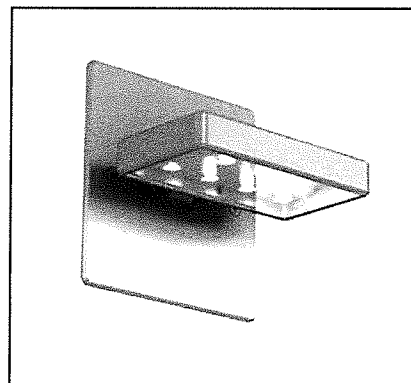
- 2. Exterior lighting.*

*Outdoor lighting shall be designed and placed so as not to cast glare into adjacent properties. Light fixtures shall be designed to direct light downward and minimize the amount of light directed upward. The Community Development Director may require the shielding or removal of such lighting where it is determined that existing lighting is adversely affecting adjacent properties or contributing to light directed into the night sky."*

Finding: Exterior parking lot lighting has not been addressed. Historic street lamps along walkways and parking lights are encouraged. No street light fixtures are proposed along 31st or 32nd Street right-of-way. The Planner shall review and approve the parking lot lights prior to installation (Condition 2).



The exterior building lights are proposed to be Lumiere 303-W1-LED wall mounted lights. These specific lights have an articulated feature which allows the light fixture to be reoriented to shine in different directions. The Code requires that lighting be down cast and not glare into adjacent properties, rights-of-way, and/or night sky. The fixtures shall be installed and maintained to have the light shine downward (Condition 3).

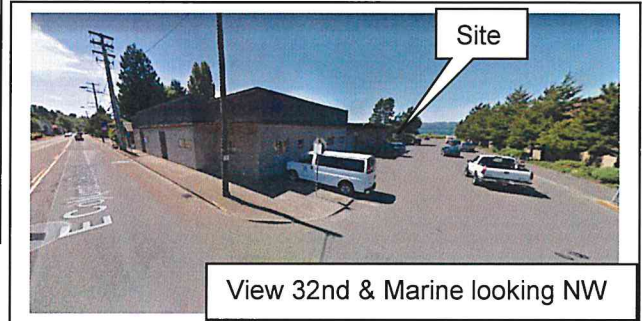
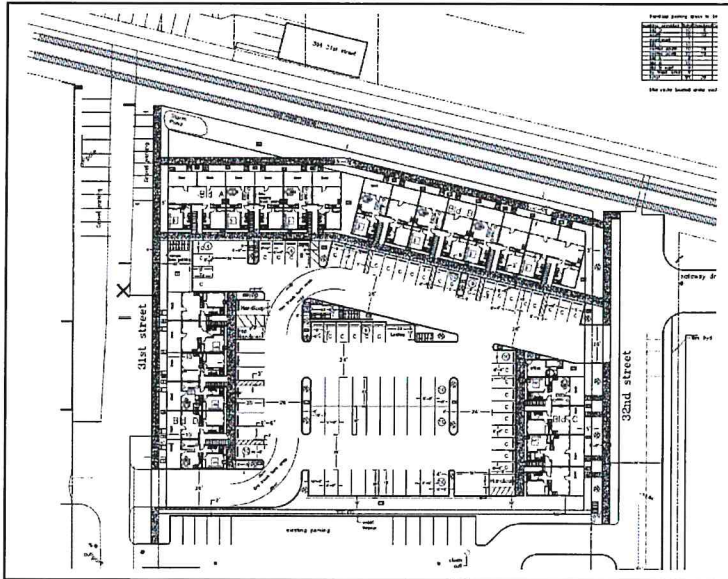


- K. Section 14.030.A.1, Other Applicable Use Standards, Building Orientation, in the Gateway Overlay Zone, states that *“development projects should form visually continuous, pedestrian-oriented street fronts with no vehicle use area between building faces and the street. Exceptions to this requirement may be allowed to form an outdoor space such as a plaza, courtyard, patio, or garden between a building and a sidewalk. Such a larger front yard area should have landscaping, low walls, fencing, railings, a tree canopy, or other site improvements.”*

Section 14.030.C, Other Applicable Use Standards, Access and Parking Design, in the Gateway Overlay Zone, states

- “1. All uses which are served by an alley, local street, or collector street should have alley or street vehicular access and egress. Curb openings onto Marine Drive or Exchange Streets are discouraged. Parking lots should be on the interiors of blocks or behind buildings, and should be designed to be as unobtrusive as possible.*
- 2. Building facades and entries should face the adjacent street. Main entrances should face a connecting walkway with a direct pedestrian connection to the street without requiring pedestrians to walk through parking lots or across driveways.*
- 3. Parking areas should be shared among various uses where a development or block is planned as a whole. On-street parking on internal streets may be counted towards the off-street parking requirements with the approval of the Community Development Director.”*

Finding: The proposed project covers approximately the north half of the block between 31st and 32nd Streets. The project has frontage on these two rights-of-way and on the River Trail to the north. The main facades are proposed to face the right-of-way and Trail. The parking area is in a central area surrounded by the buildings and is not visible from the Marine Drive right-of-way. The buildings are pedestrian-oriented and connect to the sidewalks and Trail.



- L. Section 14.030.A.2, Other Applicable Use Standards, Building Orientation, in the Gateway Overlay Zone states that *“new uses should be sited to take advantage of the Columbia River and hillside views.”*

Finding: Orientation of the buildings and location of porches/decks face the River and side streets which allows view of the Columbia River.

- M. Section 14.030.A.3 Other Applicable Use Standards, Building Orientation, in the Gateway Overlay Zone states that *“if the proposed project is large or situated so as to become an entrance or major focus of the City, the design should recognize the project’s prominence and should be both compatible with its surroundings and complementary to the City as a whole.”*

Finding: The individual buildings are 30' x 120' (Bldg A & D), 30' x 80' (Bldg C), and 30' x 140' (Bldg B). Adjacent Public Works buildings are approximately 60' x 100' and 60' x 120'. Columbia Landing buildings are approximately 60' x 80'. The mixed use 2.5 story building (396 31st) on the shoreline in front of the proposed site is 35' x 65'. The adjacent historic Big Red is approximately 100' x 100'. The adjacent Safeway building is 315' x 200'. The site is not on Marine Drive and would not be a major focus of the City. Buildings A & B would front on the River Trail which is a main pedestrian route and would be prominent along the Trail. However, other buildings in this general area are of similar and/or large size. The proposed structures are compatible with the surrounding development.

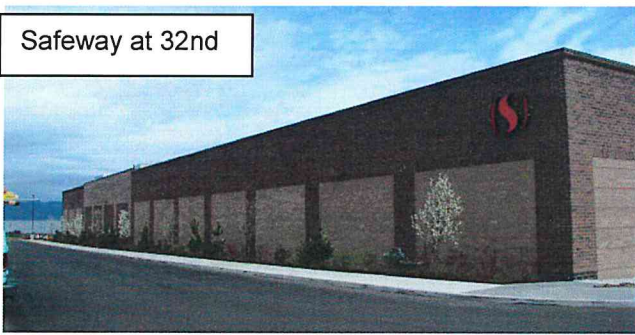




Public Works Shops



396 31st



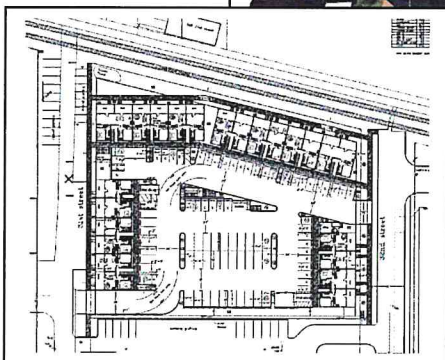
Safeway at 32nd



Columbia Landing at 29th and 30th Street



Site



- N. Section 14.030.B.1, Other Applicable Use Standards, Building Massing, in the Gateway Overlay Zone states that *“buildings should have a floor area ratio on their lots of at least 1:1 (One square foot of building area for one square foot of lot area), in order to maximize use of the land.”*

Section 14.070.A.1, Other Development Standards for the Civic Greenway Overlay Zone states *“The following development standards are applicable within the Civic Greenway Overlay Zone.”*

1. *Floor area ratios.*

*Floor area ratio and height standards in Section 14.030(B)(1) and Section 14.030(B)(2) of the Gateway Overlay Zone do not apply to on-land development in the Civic Greenway Overlay Zone. Other use standards in Section 14.030 apply.”*

Finding: The lot is approximately 73,155 square feet and the buildings would have approximately 41,400 square feet of floor space. The project would have a floor area to lot ratio (FAR) of 0.6:1 (approximately 56%). However, per Section 14.070.A.1, the FAR criteria requirement does not apply to “on-land development in the Civic Greenway Overlay Zone within the Gateway Overlay Zone.” This ratio requirement is not required.

- O. Section 14.030.B.2, Other Applicable Use Standards, Building Massing, in the Gateway Overlay Zone states that *“buildings should be a minimum of 24 feet in height from grade to highest point of the structure, excluding those features exempt from building height as identified in Development Code Section 3.075.”*

Section 2.410, Height of Structures in the C-3 Zone, states *“No structure will exceed a height of 45 feet above grade.”*

Section 14.060.A, Standards for On-Land Development, Height, in the Civic Greenway Overlay Zone, states *“The following development standards apply to on-land development in the Civic Greenway Overlay Zone south of the River Trail / 50' wide railroad line property. The Overwater Development standards shall apply to on-land development north of the River Trail / 50' wide railroad line property. In the event of a conflict between this Section and other Sections of the Astoria Development Code, this Section shall control.”*

1. *Maximum building height is 28 feet.*
2. *Building height up to 35 feet is permitted when building stories above 28 feet are stepped back at least 10 feet in accordance with Section 14.060(C)(2).*
3. *Exceptions to building height restrictions may be granted through provisions in Section 3.075.”*

Section 14.060.C, Standards for On-Land Development, Stepbacks, in the Civic Greenway Overlay Zone, states



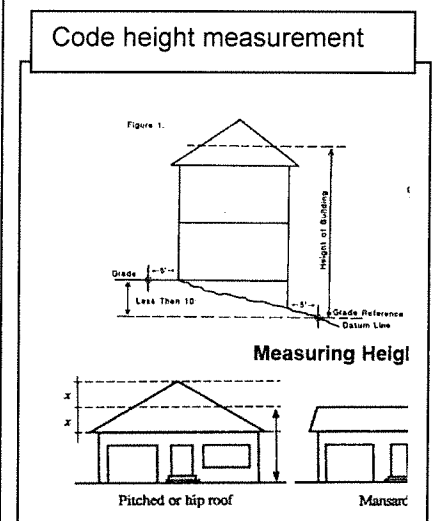
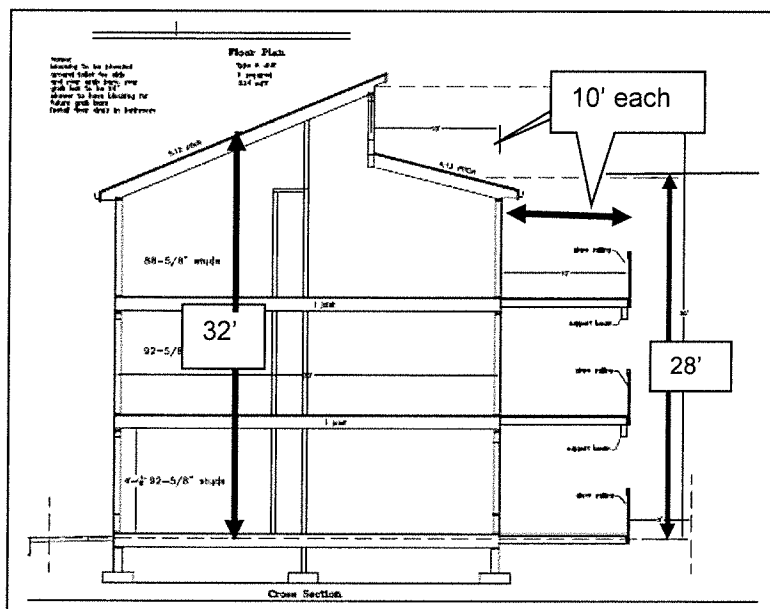
"1. Purpose.

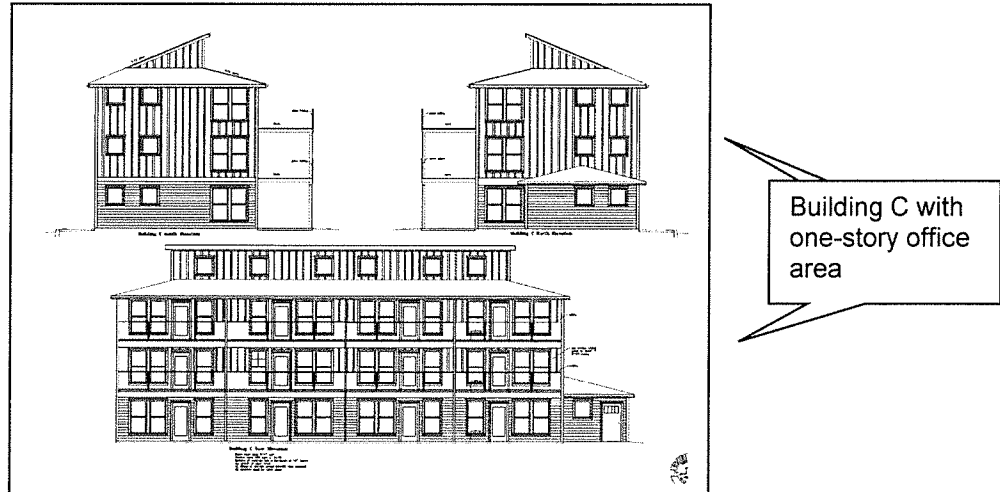
*The purpose of a setback is to allow for less obstructed views from above the building and to create a less imposing building scale as viewed from the street or parallel/adjacent trail. A setback is also designed to allow more light down to the adjacent or fronting street, sidewalk, or trail.*

2. *Additional Building Height.*

*Where the height of a building or building addition is proposed to exceed 28 feet, at least that portion of the building exceeding 28 feet, shall provide a setback of at least 10 feet from the front plane of the proposed building or building addition that faces the street or the River Trail."*

**Finding:** The proposed building height is 32' to the midpoint of the pitched roof and 35' to the peak. This meets the criteria of 24' minimum. Building C will have a one-story office on the north side of the building. The C-3 Zone has a maximum height of 45' above grade. The Civic Greenway Overlay Zone allows a height of 35' (to the midpoint of the pitched roof) with a 10' stepback for the portion above 28' fronting on a right-of-way and/or River Trail. The facades along 31st and 32nd Streets and the River Trail above 28' are stepped back greater than 10' of unobstructed open area. The porch/deck railings are less than 28' high. The buildings meet the allowable height criteria.

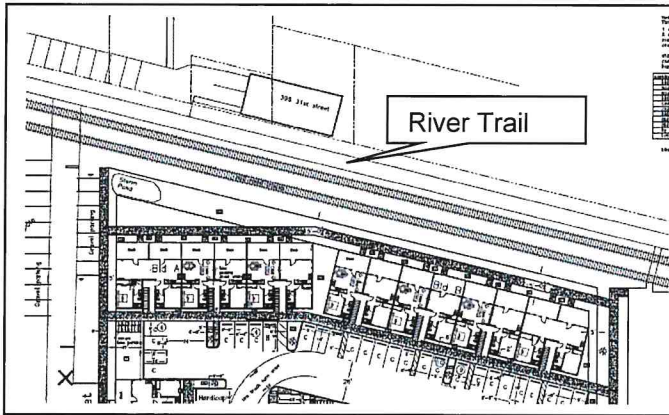




- P. Section 14.030.B.3, Other Applicable Use Standards, Building Massing, in the Gateway Overlay Zone states that *“the height, mass, and scale of buildings should be compatible with the site and adjacent buildings. Use of materials should promote harmony with surrounding historic structures and the character of the waterfront.”*

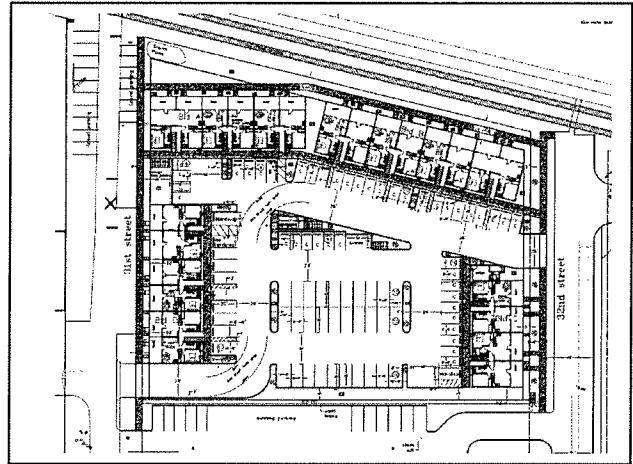
Finding: As noted above, the size of the proposed buildings is in scale with the adjacent neighborhood. The Columbia Landing buildings and 396 31st Street are three stories tall. Big Red is taller at approximately 35' to 40' with a ridge height of approximately 50' above the level of the water, and is much larger but is located approximately 300' from shore which reduces the impact of its size. The proposed structure would be 32' tall (three stories). The buildings would have horizontal siding on first floor and vertical board and batten on the upper floors in smooth fiber cement siding. Big Reg and 396 31st are board and batten; Columbia Landing is horizontal fiber cement siding; and Safeway is brick. The proposed materials are compatible with the character of the waterfront in this area.

The buildings are proposed to be a minimum of 15' from the north property line to the facade of the building including decks/porches at its closest point. Building B will be parallel to the north property line, but Building A will be angled to the south on its west side to create a change in the plane of the two buildings to help reduce the impact of the two structures. The buildings will be separated by approximately 5' to 10' depending on the angle. The River Trail in this area is close to the north portion of the City property and would be approximately 52' from the closest portion of the building. This would also reduce the impact of the buildings on the River Trail. Columbia Landing structures are approximately 31' from the River Trail and the 31st Street building is approximately 8' from the River trail. The north side of the proposed buildings would include a pedestrian walkway and landscaping to buffer the buildings from the Trail.



- Q. Section 14.060.B, Standards for On-Land Development, Stepbacks, in the Civic Greenway Overlay Zone, states "A *minimum view corridor width of 70 feet, centered on the right-of-way centerline, shall be provided on north-south rights-of-way between Marine Drive/Lief Erikson Drive and the Columbia River. Buildings shall be set back in order to achieve the 70-foot view corridor.*"

Finding: The proposed buildings along 31st and 32nd Street are set back 5' from the property line. No structural encroachments shall be allowed in this area other than the steps to the sidewalk.



- R. Section 14.030.E, Other Applicable Use Standards, Underground Utilities, in the Gateway Overlay Zone states *"This provision shall apply only to utility lines to be installed for new construction. Utility lines, including, but not limited to, electricity, communications, street lighting and cable television, shall be required to be placed underground. Appurtenances and associated equipment such as surface-mounted transformers, pedestal-mounted terminal boxes and meter cabinets may be placed above the ground, and shall be screened by sight obscuring fences and/or dense landscape buffers. The Design Review Committee may waive the requirements of this section if topographical, soil, or other conditions make such underground installations or screening of above ground equipment unreasonable or impractical. The applicant shall make all necessary arrangements with the serving utility or agency for underground installations provided hereunder; all such installations shall be made in accordance with the tariff provisions of the utility, as prescribed by the State Public Utilities Commissioner."*

Finding: All utilities are proposed to be underground. No surface mounted facilities are shown. The final site plan showing any surface facilities shall be reviewed and approved by the Planner prior to installation and shall be screened from view (Condition 4).

- S. Section 14.030.D, Other Applicable Use Standards, Landscaping in the Gateway Overlay Zone, states
- "1. Street trees should be planted within the right-of-way along both sides of the streets within the Gateway Overlay Zone.
    - a. Spacing should be 30 feet on center, depending on species and branching habit.
    - b. Minimum size of deciduous trees should be 2" caliper, with an upright form.
    - c. Mature branching height should be a minimum of 15'.
    - d. Durable tree grates and trunk protectors should be installed.
  2. Areas between trees should be landscaped with a variety of shrubs and perennials, with an emphasis on flowering species."



Section 14.075.A.3, Landscaping, Street Trees, in the Civic Greenway Overlay Zone states *“Street trees are required to be planted within the right-of-way along both sides of the street in the Civic Greenway Overlay Zone in accordance with the provisions in this Section and those in Section 14.030.D.*

- a. *Maximum height for street trees along north-south streets between Marine Drive and the Columbia River is 45 feet.*
- b. *Street trees along north-south streets between Marine Drive and the Columbia River shall have narrow profiles and/or be pruned to a maximum width of 15 feet.*
- c. *Street trees along north-south streets between Marine Drive and the Columbia River shall be one of the columnar species listed in Section 3.125, unless otherwise approved by the Community Development Director.*
- d. *Required street trees shall be maintained by the adjacent property owner and/or other identified entity. There shall be a maintenance agreement or other City approved agreement.”*

Finding: The applicant has been advised that street trees will be required on 31st and 32nd Streets. The applicant will need to work with the City Engineer on the location and installation of the trees within the right-of-way. Since the buildings may be constructed in phases, installation of the street trees shall coincide with construction of the adjacent building on each street. A landscape plan for the required street trees and a draft maintenance agreement shall be reviewed and approved by the Planner prior to installation (Condition 5). The trees shall be installed prior to occupancy of the buildings along the adjacent street (Condition 6).

- T. Section 14.075.A.2, Landscaping, Land side or upland standards, in the Civic Greenway Overlay Zone, states *“Landscaping is required in the Civic Greenway Overlay Zone in accordance with the provisions in this Section and those in Sections 3.120 to 3.125. The provisions in this Section apply to new construction or exterior renovations with a value of at least 20% of the assessed value of the structure, or in the event of installation of new parking areas. . .*

2. *Land side or upland standards.*

*The following standards apply to landscaping along the frontage of parcels abutting the River Trail to the south.*

- a. *Height and spacing.*
  - 1) *Maximum spacing of trees is 20 feet on center.*
  - 2) *Maximum spacing of shrubs is five (5) feet on center.*

- 3) *Ground cover landscaping is required in between shrubs and trees.*
- 4) *Trees shall not exceed 35 feet in height at maturity."*

Finding: The applicant has not submitted a landscape plan but does indicate landscaped areas on the site plan. The photo simulation of the north facade shows a mixture of ground cover, shrubs, and trees to help buffer it from the River Trail. A landscape plan which includes similar landscape features as noted in the photo shall be reviewed and approved by the Planner prior to installation (Condition 7). Landscaping shall be installed prior to occupancy of the buildings (Condition 8).

## V. CONCLUSION AND RECOMMENDATION

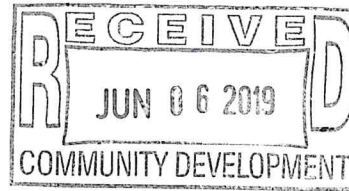
The request in balance meets the Design Review Guidelines. Staff recommends approval of the request with the following conditions:

1. The roofing material shall be a subdued color to be reviewed and approved by the Planner prior to installation.
2. A lighting plan for the building and site shall be submitted to be reviewed and approved by the Planner prior to installation.
3. The exterior building light fixtures shall be installed and maintained to have the light shine downward.
4. The final site plan showing any surface facilities shall be reviewed and approved by the Planner prior to installation and such facilities shall be screened from view.
5. A landscape plan for the required street trees and a draft maintenance agreement shall be reviewed and approved by the Planner prior to installation.
6. The street trees shall be installed prior to occupancy of the buildings along the adjacent street.
7. A landscape plan shall be reviewed and approved by the Planner prior to installation.
8. Landscaping shall be installed prior to occupancy of the buildings.
9. The applicant shall work with the solid waste disposal company, Recology, concerning the size and location of any refuse collection areas.
10. Any change in design or material or modifications to the proposed plans as described in this Staff Report shall be submitted to the Community Development Department for review and approval prior to installation.
11. The applicant shall obtain all necessary City and building codes permits.



CITY OF ASTORIA  
Founded 1811 • Incorporated 1856

COMMUNITY DEVELOPMENT



DR 19-02

☒ Fee Paid Date 6/6/19 By JP # 1804  
Fee: \$750.00

**DESIGN REVIEW >25,000 Project Value**

Property Address: 461 - 32nd, Astoria Oregon 97103

Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

Map 08-09-09BD Tax Lot 800,901,1000 Zone C-3 gateway and civic greenway

Applicant Name: Walt Postlewait

Mailing Address: 36468 River Point Dr. Astoria Oregon 97103

Phone 503 298 1103

Email: waltpostlewait@gmail.com

Property Owner's Name: Four B's LLC

Mailing Address: PO BX 204 Astoria OR 97103

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Signature of Applicant: [Signature] Date: 6-6-19

Signature of Property Owner: [Signature] POA Date: 6-6-19

Proposed Construction: 66 unit apartment/short stay complex

Site Dimensions & Square Footage: 300' x 244' = 73,155

Building Square Footage: 1st Floor: 12936 2nd & 3rd Floor: 12936 Garage: N/A

Accessory Building Information: 252 sqr ft office and maintenance area

**FILING INFORMATION:** The Design Review Committee meets on the first Thursday of the month, as needed depending on date of applications. Complete applications must be received by the 1<sup>st</sup> of the previous month. *A pre-application meeting with the Planner is required prior to the acceptance of the application as complete.* Only complete applications will be scheduled on the agenda. Your attendance at the Design Review Committee meeting is recommended.

**For office use only:**

|                       |  |                             |  |
|-----------------------|--|-----------------------------|--|
| Application Complete: |  | Permit Info Into D-Base:    | <input checked="" type="checkbox"/> BT |
| Labels Prepared:      |  | Tentative DRC Meeting Date: | <u>7/11/19</u>                         |
| 120 Days:             |  | PN                          | <u>6/17/19</u>                         |

All information concerning construction materials, design, dimensions, etc. is REQUIRED. If submitting large format plans, please also submit a reduced copy at 11" x 17" for reproducing.

Briefly address each of the Design Review Guidelines and state whether the project complies with the guideline, if applicable, and why this request should be approved. **Please provide manufacturer information and/or detailed information for use of any material or design not selected from the "Encouraged" list in the Design Guidelines.** (Use additional sheets if necessary.):

1. **Building Form.**

Basic Shape: Rectangular block type with low pitch roof

Porches & Balustrade - Design, Dimension, Features, Materials: \_\_\_\_\_

10'x20' concrete floor with glass railing and access gate

Balconies & Balustrade - Design, Dimension, Features, Materials: \_\_\_\_\_

10'x20' wood framing with glass railing system

Other: \_\_\_\_\_

2. **Windows.**

Material: Insulated white vinyl

Divided Windows (true divided, external muntins, etc): \_\_\_\_\_

Operation (casement, single hung, etc.): \_\_\_\_\_

single hung and fixed with a 2" min depth per design code

Size & Material of Exterior Casings (minimum 5/4" x 4"; provide detail diagram): \_\_\_\_\_

5/4 x 4 fiber cement casing

Other: All glass will meet the 2" set back from facade.

windows will be clear glass (no tint)

3. **Exterior Wall Treatments.**

Material & Dimensions of Siding (note if material is smooth or textured): \_\_\_\_\_

Fiber cement smooth siding 5"-6" lap exposure 1x3 for board and batt

Decorative Features: \_\_\_\_\_

Other: siding will be a mixture of lap and board and batt with a belly band board dividing siding types

4. **Doors.**

Material & Design: Porch and patio doors a full glazed fiberglass

Entry doors are steel fire rated.

Other: \_\_\_\_\_

5. **Roof Elements.**

Style and Pitch of Roof: Hip and Gable with 4:12 and 5:12 pitch

Material: Composition type

Color: subdued color

Decorative Features (eave brackets, etc): \_\_\_\_\_

Other: \_\_\_\_\_



6. **Garage.**  
Garage Door Material & Design: No Garage  
Window Material & Design: \_\_\_\_\_  
Roof Style & Material: \_\_\_\_\_  
Other: \_\_\_\_\_
7. **Signs.**  
Dimension & Square footage: None Proposed  
Location: \_\_\_\_\_  
Type, Material & Design: \_\_\_\_\_  
Other: \_\_\_\_\_
8. **Exterior Lighting.**  
Fixture & Lamp Design: Lumiere 303-W1-LED  
Location: Wall mounted directly on the building  
Other: \_\_\_\_\_
9. **Other Design Elements.**  
(Fences, out buildings, corner boards, belt course, etc. with dimensions): 5/4x4 corner boards  
9 1/4" belt band between siding changes  
\_\_\_\_\_  
\_\_\_\_\_
10. **Building Orientation.**  
Buildings face the outside of the property on the N,W,E sides of the  
property (see Site Plan)  
\_\_\_\_\_
11. **Building Massing.**  
Building to Lot Ratio: 13,501 to 73,155 sqr ft = 18.46%  
Other: Glass area is 30.3 to 31.13%.  
\_\_\_\_\_
12. **Access and Parking Design.**  
Number of Off-street Spaces: 91 parking spaces including 4 handicap and one  
Other: offstreet parking space.  
\_\_\_\_\_
13. **Landscaping.** Native plant and trees around the exterior of the site  
and inter spaced within the parking lot area  
Landscape area is 12,608 sq fr = 17.23%.  
\_\_\_\_\_
14. **Underground Utilities.**  
all utilities will be underground  
\_\_\_\_\_

**PLANS:** A site plan indicating location of the proposed structure on the property is required. Diagrams showing the proposed construction indicating style and type of materials proposed to be used are required. Scaled free-hand drawings are acceptable. The City may be able to provide some technical assistance on your proposal if it is adjacent to a historic structure and will require additional review by the Historic Landmarks Commission.

**If submitting large format plans, please also submit a reduced copy at 11" x 17" for reproducing.**

Northpost Apartments  
461 32nd Street, Astoria, Oregon 97103

Site location:

Northpost Apartments will be located in Astoria, North of hwy 30 between 31st and 32nd street along the railroad tracks and the Columbia river. Bounded on the West by 31st street and city shops, North by the railroad tracks, Columbia river and the river walk, East by 32nd street and Safeway, South by the ESD building and their parking lot. The site slopes from the Southeast corner at an elevation of 18.3' to the Northwest corner at an elevation of 14.3'.

Previous use:

There are four existing buildings on the site. The previous usage was for the A-1 concrete plant along with storage of rock and sand for the concrete plant. The South and Northwest buildings were used for equipment storage and mechanic work. The two East buildings were part of the old A-1 concrete plant office and control building.

Zoning:

The zoning is C-3 within the Gateway and Civic Greenway overlay district.

Proposed:

The proposed use are for 66 apartment/short stay housing units with an office and maintenance room. 60 of the apartments will be one-bedroom units and the other six units will be two bedrooms. The 66 apartments will be within four buildings. Building A located on the Northwest corner are 12 one bedroom and 3 two bedroom units. Building B located on the Northeast corner are 18 one bedroom and 3 two bedroom units. Building C following the East side along 32nd street are 12 one bedroom units and an office/maintenance room. Building D follows the West side along 31st street and has 18 one bedroom units. The units will be comprised of a combination of short stay and long-term housing. The income from these short-term units will be used to help offset rental costs from the long-term apartment units.

All of the units will be built to the more stringent of the 2014 Oregon Structural Specialty code for R-1 hotel/motel codes and R-2 apartment building codes. The parking requirements for apartments are greater than hotel/motel units, so the parking lot has been designed for apartment standards. There will be 91 parking spaces including four handicap and an off loading space. The parking lot is located within the interior of the apartments per 14.030 C.1. There will be no car overhang into walkways and will have bumper guards. The walkways will also be 6' wide.

The long term bike storage will be placed next to the N.W. corner of the parking lot and will be covered and lockable per 7.105. There will be nine long term and ten short term bike storage spots.

The buildings are three stories with decks facing to the outside of the property to incorporate views of the Columbia river. The parking lot has been located inside of the complex. The face of the decks on the East and West units have been set back 5' from the property line to allow for a 70' view corridor down both of the side streets per 14.060 B. The two buildings along the railroad have been setback a minimum of 15', which is farther than the 10' minimum per 14.060 C.2. This building orientation will highlight the Columbia River views and not impose on the river trail per 14.030 A.2 and 14.060 C.1.

The material and layout of the apartments will be compatible for the site and will promote harmony with the surrounding buildings and character of the waterfront per 14.030 B.3. Per 14.025 B1.b the buildings are a rectangular block type design and have a low pitched roof per 14.025 H.2a. The buildings are a simple design without extraneous detail per 14.025 B.1.A. The roof facing the outside of the property has a step in it to meet the required 10' step back allowing the front roof to meet the 28' height limit and the rear roof to be under the 35' height limit per 14.060 A.1 and 14.060 A.2.

The roofing material will be a composition type per 14.025 J.1b. The roofing material will be a subdued color per 14.025 J.1c. The roofing elements will be hip with gable dormers per 14.135 4.a. The siding will be a mixture of cement board products. It will be smooth finished per 14.135 3.a7 There will be 5" to 6" exposure lap siding on the bottom per 14.025 F.1c. On the top will be true board and batten comprised of smooth fiber cement panel with 1x3 battens. A belly band board per 14.025 F.2a will be integrated in the design. The exterior paint color will be cohesive with the surrounding buildings and be a natural/subdued tone.

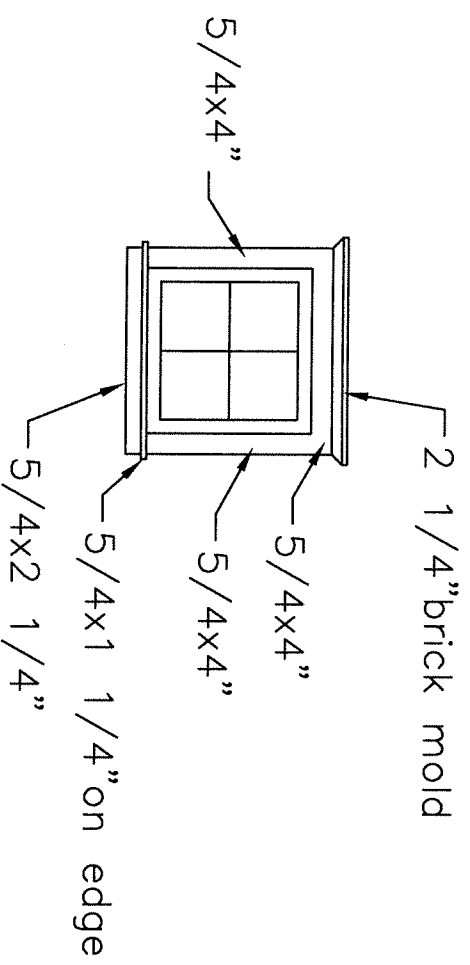
The windows will be single hung type per 14.025 D.f. The windows will a combination of single and multiple-light windows per 14.025 4b. The windows will be clear glass with no tint. The window detailing will have a casing/trim that creates a clear visible distinction per 14.135 2.f. The window detail will be 2" back from the facade per regulations. The window casing will be 5/4x4. The windows facing the outside of the complex will be clear story windows per 14.135 C.2a. The trim around the windows shall be 1x4 per 14.025 4f. The window shape will be vertical and rectangle per 14.070 A1. There is 18" from the bottom of the window to the floor. Glass is from 30.3 to 31.13% of the walls facing the outside of the property.

The deck and porch doors facing outside of the complex will be fiberglass with full light windows per 14.135 4.7a. The entry doors will be steel fire rated. The deck and porches will use a glass railing system. The porches will be approximately 10'x20' and have a concrete floor with gate access.

All stairwells have been placed to the interior of each of the buildings to provide a roof cover over the stairs and entrance landings. The exterior steps will be a combination of cement and wood with a 4x12 rise concrete tread. The apartment buildings will cover approximately 18.46% of the lot, this includes the apartment buildings and waste enclosure. 14.030 B.1. The total sq ft of all four buildings are 12,936 sq ft, maintenance/office 252 sq ft, waste enclosure 200 sq ft. All of the utilities will be underground per 14.030 E.

The landscaping will incorporate native plants and trees around the exterior of the site and interspaced within the parking lot area. The chosen native plants will follow the guidelines of 3.125 and will follow the standard height and width per 14.138 A.1. The landscaping within the parking lot area will comply with 14.138 A.2a-c. Areas between the native trees will be landscape with a variety of shrubs and perennials per 14.030 2. Landscape area is 12,608 = 18.46% of the total lot.





Window Detail  
Typical



Therma-Tru Doors  
P.O. Box 8780  
Maumee, OH  
Email: [rclark@thermatru.com](mailto:rclark@thermatru.com)

Phone: (800) 537-8827  
[www.thermatru.com](http://www.thermatru.com)

## Product Information

EasySpec S/N 79051

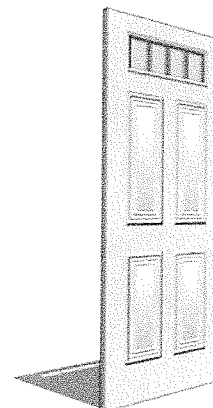
Product/Model Name: Traditions

### Traditions

Secure your home and family with Therma-Tru's value-priced Traditions steel door.

Our opaque doors without glass come with an available 20-minute fire rating. All doors are available in ready-to-paint decorative designs that come with a tough 24 or 25-gauge smooth steel surface and a polyurethane foam core for durable energy efficiency. Traditions steel doors feature a solid wood lock block for secure mounting of hardware, decorative glass options, and a five-year limited warranty.

You can select from 6'8" or 8' heights to best fit your home's architecture. 20 minute fire-rating is available for 6'8" height doors only.



## Project Information

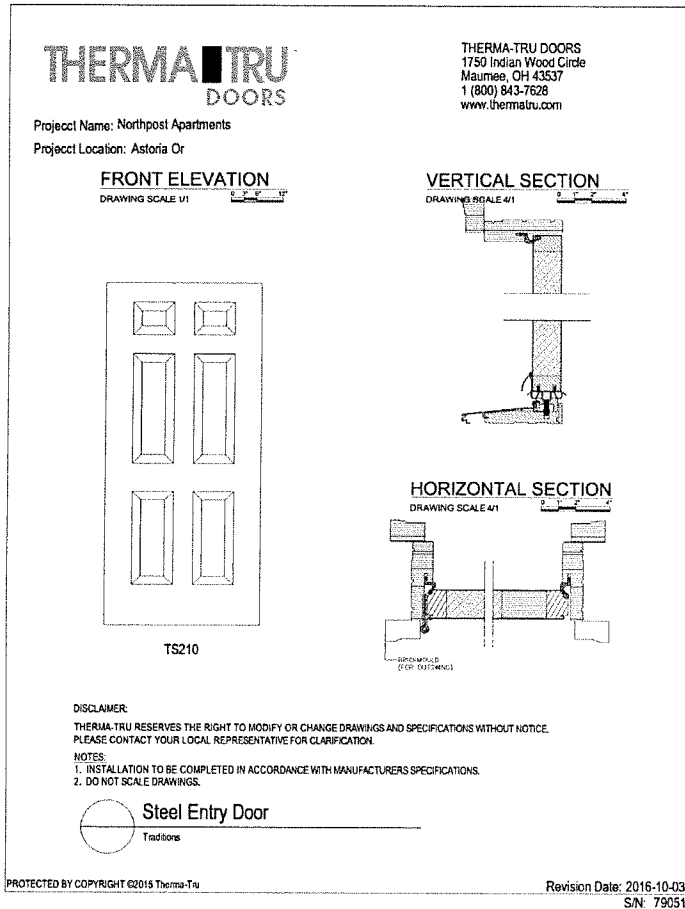
Project Name: Northpost Apartments  
Contact Name: Randy  
Project Location: Astoria Or  
Contact Email: [randystemper@gmail.com](mailto:randystemper@gmail.com)

## Selected Features and Options (Product Schedule)

|                   |               |
|-------------------|---------------|
| Door Type         | Single        |
| Operation         | Inswing       |
| Impact Rating     | HVHZ          |
| Height            | 6'-8"         |
| Style             | Solid         |
| Solid Style Shape | 6 Panel Flush |
| Style Lines       | No            |



## CAD Preview



**Specifications**

THERMA-TRU Corp.  
1750 Indian Wood Circle  
Maumee, OH 43537  
Toll Free 800-891-7400  
Phone 419-891-7400  
Website www.thermatru.com

**Product Guide Specification**

*Specifier Notes: This product guide specification is written according to the Construction Specifications Institute (CSI) 3-Part Format, including Master Format, Section Format, and Page Format. The section must be carefully reviewed and edited by the Architect to meet the requirements of the project and local building code. Coordinate this section with other specification sections and the Drawings. Delete all "Specifier Notes" when editing this section. Section numbers and titles are from Master Format 2011 Update.*

**DIVISION 08 11 30****STEEL DOORS**  
THERMA-TRU Traditions Steel Doors

*Specifier Notes: This section covers Therma-Tru® branded steel entry door slabs ("Doors") and other components of the doors system which can be sourced through Therma-Tru®. Consult your local Therma-Tru Architectural Sales Specialist for assistance in editing this section for the specific application.*

**PART 1 GENERAL****1.1 SECTION INCLUDES**

- A. Steel Entry Doors
- B. Fire Rated Steel Entry Doors

**1.2 RELATED SECTIONS**

*Specifier Notes: Edit the following list of related sections as required for the project. List other sections with work directly related to this section. Verify section numbers and titles.*

- A. 06 40 00 - Architectural Woodwork
- B. 07 27 00 - Air Barriers: Water-resistant barrier
- C. 07 92 00 - Joint Sealants: Sealants and caulking
- C. 08 80 00 - Glazing
- D. 08 71 00 - Door Hardware

08 11 30  
Steel Entry Doors



## E. 09 90 00 - Painting and Coating

## 1.3 REFERENCES

*Specifier Notes: Standards listed by reference including revisions by issuing authority. This article does not require compliance with standards, but is merely a listing of those that may be used.*

- A. American National Standards Institute (ANSI):
  - 1. ANSI/SDI Standard A224.1 – Test Procedure and Acceptance Criteria for Prime Painted Steel Surfaces for Steel Door & Frames.
- B. American Society for Testing and Materials (ASTM):
  - 1. ASTM A1008 / A1008M-13 – Standard Specification for Steel, Sheet, Cold-Rolled, Carbon, Structural, High Strength Low Alloy, High Strength Low Alloy with Improved Formability, Solution Hardened, and Bake Hardenable.
  - 2. ASTM A653 / A653-M – Standard Specification for Steel Sheet Zinc Coated (Galvanized) of Zinc-Iron Alloy Coated (Galvanealed) by the Hot Dip Process.
  - 3. ASTM A924 / 924-M-14 – Standard Specification for General Requirements for Steel Sheet, Metallic-Coated by the Hot Dip Process.
  - 4. ASTM D610-08 – Standard Practice for Evaluating Degree of Rusting on Painted Steel Surfaces.
  - 5. ASTM D714-02 – Standard Test Method for Evaluating Degree of Blistering of Paints.
  - 6. ASTM D1654-08 – Standard Test Method for Evaluation of Painted or Coated Specimens Subject to a Corrosive Environment.
  - 7. ASTM E 90 – Standard Test Method for Laboratory Measurement of Airborne Sound Transmission Loss of Building Partitions.
  - 8. ASTM E 283 – Rate of Air Leakage Through Exterior Windows, Curtain Walls and Doors Under Specified Pressure Difference Across the Specimen.
  - 9. ASTM E 330 – Structural Performance of Exterior Windows, Doors, Skylights and Curtain Walls by Uniform Static Air Pressure Difference.
  - 10. ASTM E 331 – Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Uniform Static Air Pressure Difference.
  - 11. ASTM E 413 – Classification for Rating Sound Insulation (STC).
  - 12. ASTM E 547 – Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Cyclic Static Air Pressure Difference.
  - 13. ASTM E 1300 – Standard Practice for Determining Load Resistance of Glass in Buildings.
  - 14. ASTM E 1332 – Standard Classification for Determination of Outdoor-Indoor Transmission Class.
  - 15. ASTM E 2235 – Standard Test Method for Determination of Decay Rates for Use in Sound Insulation Test Methods.
- B. Canadian Standard:
  - 1. CAN4-S104 – Standard Method for Fire Tests of Door Assemblies.
- C. Environmental Protection Agency and Department of Energy:
  - 1. Energy Star Program Requirements Product Specification for Residential Windows, Doors, and Skylights.
- D. Code of Federal Regulations:
  - 1. CFR 1201 Part 2 – Safety Standard for Architectural Glazing Materials.

08 11 30  
Steel Entry Doors

- E. National Accreditation & Management Institute (NAMI)
- F. National Fenestration Rating Council
  - 1. NFRC 100 – Procedure for Determining Fenestration Product U-Factors.
  - 2. NFRC 200 – Procedure for Determining Fenestration Product Solar Heat Gain Coefficient and Visible Transmittance (VT) at Normal Incidence.
  - 3. NFRC 400 – Procedure for Determining Fenestration Product Air Leakage.
- G. National Fire Protection Association
  - 1. NFPA 252 – Standard Methods of Fire Tests of Door Assemblies
- H. Underwriters Laboratory
  - 1. UL 10B – Standard for Fire Testing Door Assemblies.
  - 2. UL 10C – Standard for Positive Pressure Fire Tests of Door Assemblies.

#### 1.4 PERFORMANCE REQUIREMENTS

*Specifier Notes: Performance ratings for doors vary by product, configuration, and size. Current performance information is found at [www.thermatru.com](http://www.thermatru.com). Consult your local Thermo-Tru Architectural Sales Specialist for more information. Delete the following performance requirements if not required.*

- A. Doors shall have a structural design pressure rating of DP [\_\_\_\_].
- B. Doors shall have an impact design pressure rating of DP [\_\_\_\_].
- C. Door Unit Air Leakage, NFRC 400, 1.57 psf (25 mph): 0.50 cfm per square foot of frame or less.
- D. Door Unit Water Penetration: No water penetration through door unit when tested in accordance with ASTM E 331 or ASTM E 547 with water applied at rate of 5 gallons per hour per square foot at 0 psf.
- E. Doors shall have a minimum STC rating of [\_\_\_\_] or a minimum OITC rating of [\_\_\_\_].
- F. Doors shall have a positive pressure certified fire door rating of [\_\_\_\_] minutes.
- G. Doors shall have a minimum/maximum U-Value of [\_\_\_\_] and a minimum/maximum SHGC of [\_\_\_\_].
- H. Doors shall qualify for Energy Star Rating.

#### 1.5 SUBMITTALS

- A. Refer to Division 01 33 00 Submittal Procedures [Insert division number and title].
- B. Product Data: Submit door manufacturer current product literature, including installation instructions.
- C. Shop Drawings: Submit manufacturer's shop drawings, indicating dimensions, construction, component connections, anchorage methods and locations, accessories, hardware locations, and installation details.

08 11 30  
Steel Entry Doors

- D. Samples: Submit full-size or partial full-size verification sample of door illustrating glazing system, quality of construction, texture, and color of finish.

## 1.6 QUALITY ASSURANCE

- A. Mockup:
1. Provide sample unit of representative product size and using manufacturer approved installation methods to determine acceptability of door installation methods. Comply with Division 01 43 39 Quality Assurance
  2. Approved mockup shall represent minimum quality required for the Work.
  3. Approved mockup shall [not] remain in place within the Work.
- C. Quality Assurance Submittals:
1. Provide documentation for specified performance as required.
  2. Manufacturers' installation instructions.
- D. Manufacturer Qualifications: Manufacturer shall have successful experience in producing the type of product required for project applications equivalent to the requirements for this project.

*Specifier notes: Therma-Tru manufactures steel door slabs and related components and sources them to distributor and dealer fabricators for system assembly. Fabricators will have successful experience in producing the type of product required equivalent to the project requirements.*

- E. Installer Qualifications:
1. [Optional: Installer holds current credential as a NAMI Certified Installer of Therma-Tru Side Hinged Door Installations and as a Therma-Tru® Certified Installer.]

## 1.7 DELIVERY, STORAGE, AND HANDLING

- A. Refer to Division 01 60 00 Product Requirements.
- B. Delivery: Deliver materials to site undamaged with labels clearly identifying manufacturer, product name, and installation instructions
- C. Storage: Store materials in an upright position, off ground, under cover, and protected from weather, direct sunlight, and construction activities.
- D. Handling: protect materials and finish during handling and installation to prevent damage.

## 1.8 WARRANTY

08 11 30  
Steel Entry Doors

- A. Refer to Division 01 78 36 Warranties
- B. Therma-Tru® standard limited warranty for steel Therma-Tru® Door Product and genuine Therma-Tru® components, including rot-resistant frames, mullions, and brickmould sourced from Therma-Tru (excluding primed pine door frames and oak door frames, and non-rot resistant mullions and brickmould) used in commercial and multi-residential projects will be free from material and workmanship defects for a period of three years subject to certain limitations and restrictions. For complete details and current warranty information go to [www.thermatru.com](http://www.thermatru.com).
- C. PrismaGuard™ Limited Warranty Rider provides coverage to the Warranty Holder for non-conformities in select stain and paint finishes available through certain distributors of the door slab, sidelite, transom, and other genuine Therma-Tru components of a Therma-Tru fiberglass door system. For complete details and current warranty information go to [www.thermatru.com](http://www.thermatru.com).

## **PART 2 PRODUCTS**

### **2.1 MANUFACTURER**

- A. Basis of design:  
Therma-Tru Corp.  
1750 Indian Wood Circle  
Maumee, OH 43537  
(419) 891-7400  
(800) 843-7628  
[www.thermatru.com](http://www.thermatru.com)  
Contact:  
Rod Clark  
458-206-8532  
[rclark@thermatru.com](mailto:rclark@thermatru.com)
- B. Substitutions: Not permitted
- C. Requests for substitutions will be considered in accordance with provisions of Division 01 60 00.

### **2.2 INSULATED STEEL ENTRY DOORS**

08 11 30  
Steel Entry Doors



- A. Steel Entry Doors: All steel doors manufactured by Therma-Tru®. Specification is for complete entry systems with components manufactured by Therma-Tru® and assembled by independent fabricators.
1. Select: [Traditions®], [Traditions 20 Min Fire Door]
  2. Construction:
    - a. Traditions Steel Door®  
0.018 inch (25 gauge) minimum thickness, tension-leveled cold rolled steel, zinc-coated, conversion coated to permit paint bond skins. Door edges are machinable kiln-dried pine or engineered lumber mechanically locked to door faces, four sided full thermal break provided. Lock area reinforced with solid blocking in full area of passage and deadbolt locksets. Door bottom edge is moisture- and decay-resistant composite. Core is foamed-in-place polyurethane, density 1.9 pcf minimum. Door faces factory primed white.
    - b. Traditions 20 Min Fire Door  
Proprietary cement based core.
  3. Door Style
    - a. Traditions Steel®
      1. Enter Style Number [   ], [   ].
- B. Frames: Provided and assembled by third party fabricators to exacting specifications from Therma-Tru to help maximize system performance. Therma-Tru® strongly recommends the use of rot-resistant frames, mullions, and brickmould sourced from Therma-Tru. however, the use of a non Therma-Tru® frame system (or a Therma-Tru Primed Pine Frame or Therma-Tru Oak Frame) will not automatically void the entire limited warranty. Refer to 1.8.B for clarification.
1. Milled from 5/4 kiln-dried material with profiled ½" stop and 6 degree sill gain prep.
  2. Jamb Width [Standard 4 9/16"] Optional: [5 ¼"] [6 9/16"]
  3. Rot Resistant – frames, mullions, and brickmould sourced through Therma-Tru.
- C. Sills
1. Inswing: [Composite Adjustable] [Hardwood Adjustable] [Basic Fixed]  
[Basic Composite Adjustable]
  2. Outswing: [Composite Outswing] [Aluminum with Thermal Break] [Coastal]
  3. Other: [Public Access Sill]
  4. Finish: [Mill] [Bronze] [Satin nickel]

## 2.3 HARDWARE

*Specifier Notes: Steel entry doors are available with optional Therma-Tru factory installed multi-point lock; prepped for standard locking hardware; or no bore.*

- A. Hinges: Steel, [optional ball bearing] 4 x 4 x 0.098 inches finished to match hardware, plated screws to match

08 11 30  
Steel Entry Doors

1. Finish: [US4, Zinc dichromate] [US3, bright brass] [US5, antique brass] [US15, brushed nickel] [US17A, black nickel] [US15A, antique nickel] [US26, polished chrome] [US10B, oil rubbed bronze] [US32D stainless steel]

*Specifier Notes: Multi-point locking system is optional. Delete if not required.*

**B. Locking Hardware:**

1. Multi-point lock system includes stainless steel face plate: [Lever Style] [Grip Style]
2. Multi-point lock system handle set options Lever Style: [Heirloom] [Venture] [Millennium]
3. Multi-point lock system handle set options Grip Style: [Forte] [Prospect]
4. Finish Lever Style: [US3, bright brass] [US5, antique brass] [US15, brushed nickel] [US17A, black nickel] [US26, polished chrome] [US10B, oil rubbed bronze]
5. Finish Grip Style: [US15, brushed nickel] [US17A, black nickel] [US10B, oil rubbed bronze]

*Specifier Notes: Decorative and specialty glass is standard and included with the select model numbers.*

## 2.4 GLAZING

1. Inserts (lites): perimeter frames in raised-molding patterns, molded from composite, wood-grained in natural hardwood patterns, paintable, screw-fastened to doors, screw holes concealed with grained plugs in matching material. Tested to withstand high service temperatures resulting from exposure behind storm doors or dark finishes. Glass minimum 1/8" tempered, two panes with sealed airspace between, airspace typically 1/4" to 3/4". Options for leaded decorative glass panel in airspace between tempered glass panes with brass, brushed nickel, or black nickel coming finishes. Other options include grill between the glass, mini-blinds, removable wood grilles, and permanent external lite dividers.

## 2.5 INSTALLATION ACCESSORIES

- A. Sill pan
- B. Corner seal pad
- C. Rain deflector
- D. Rain Guard
- E. Sill Cover

## PART 3 EXECUTION

### 3.1 EXAMINATION

- A. Examine areas to receive doors. Notify Architect in writing any unacceptable conditions that would adversely affect installation or subsequent performance of the product. Do not proceed with installation until unsatisfactory conditions are corrected.

08 11 30  
Steel Entry Doors

### 3.2 INSTALLATION

- A. Install steel doors in full compliance with Therma-Tru® written instructions and approved shop drawings.
- B. Install 20 minute doors with permanent fire door certification label in compliance with the requirements of the labeling agency and NFPA.
- C. Maintain alignment and compatibility with adjacent work.

### 3.3 FINISHING

- A. Finish in compliance with Therma-Tru® written recommendations. Guidance for proper finishing is available at [www.thermatru.com](http://www.thermatru.com) – “Recommendations for Proper Finishing and Painting or Staining.”
- B. Pre-Finish - *PrismaGuard*™ proprietary finish professionally applied in a controlled environment for enhanced durability - **Stain** [Wildflower Honey], [Rustic Clay], [Barley], [New Earth], [Autumn Harvest], [Redwood], [Mulberry], [Driftwood], [Raven].  
**Paint** [Alpine], [Cypress], [Granite], [Ruby Red], [Cabernet], [Indigo], [Chestnut], [Onyx].

### 3.3 Protection

- A. Protect installed products until completion of project.
- B. Touch-up, repair or replace damaged products prior to Substantial Completion in accordance with Therma-Tru written recommendations. Guidance for proper finishing is available at [www.thermatru.com](http://www.thermatru.com) – “Recommendations for Proper Finishing and Painting or Staining.”

END OF SECTION

08 11 30  
Steel Entry Doors



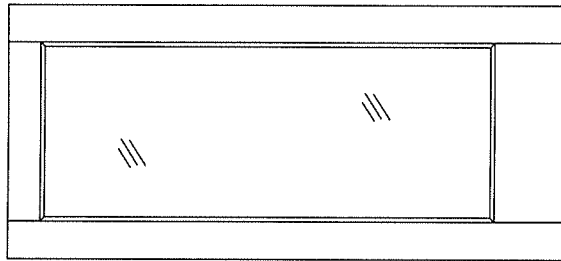
Note: This page is a summary of the features and options you selected for the above product and is made available for information purposes only. You must confirm this information and product availability with the manufacturer listed above prior to using for planning purposes. Additional options may also be available.



THERMA-TRU DOORS  
1750 Indian Wood Circle  
Maumee, OH 43537  
1 (800) 843-7628  
www.thermatru.com

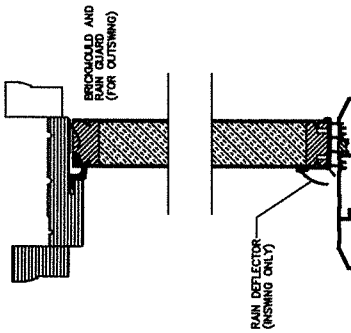
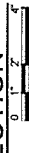
Project Name: Northpost Apartments  
Project Location: Astoria Oregon

FRONT ELEVATION  
DRAWING SCALE 1/1

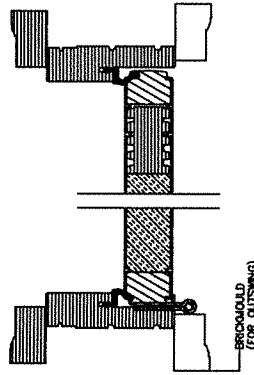


S2000

VERTICAL SECTION  
DRAWING SCALE 4/1



HORIZONTAL SECTION  
DRAWING SCALE 4/1

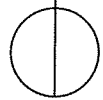


DISCLAIMER:

THERMA-TRU RESERVES THE RIGHT TO MODIFY OR CHANGE DRAWINGS AND SPECIFICATIONS WITHOUT NOTICE.  
PLEASE CONTACT YOUR LOCAL REPRESENTATIVE FOR CLARIFICATION.

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.



Fiberglass Entry Door

Smooth-Star



THERMA-TRU Corp.  
1750 Indian Wood Circle  
Maumee, OH 43537  
Toll Free 800-891-7400  
Phone 419-891-7400  
Website www.thermatru.com

## Product Guide Specification

*Specifier Notes: This product guide specification is written according to the Construction Specifications Institute (CSI) 3-Part Format, including Master Format, Section Format, and Page Format. The section must be carefully reviewed and edited by the Architect to meet the requirements of the project and local building code. Coordinate this section with other specification sections and the Drawings. Delete all "Specifier Notes" when editing this section. Section numbers and titles are from Master Format 2011 Update.*

### DIVISION 08 16 13.14

## SMOOTH STAR FIBERGLASS ENTRY DOORS

*Specifier Notes: This section covers Therma-Tru® branded fiberglass entry door slabs ("Doors") and other components of the doors system which can be sourced through Therma-Tru®. Consult your local Therma-Tru Architectural Sales Specialist for assistance in editing this section for the specific application.*

### PART 1 GENERAL

#### 1.1 SECTION INCLUDES

- A. Fiberglass Entry Doors
- B. Fire Rated Fiberglass Entry Doors

#### 1.2 RELATED SECTIONS

*Specifier Notes: Edit the following list of related sections as required for the project. List other sections with work directly related to this section. Verify section numbers and titles.*

- A. 06 40 00 - Architectural Woodwork
- B. 07 27 00 – Air Barriers: Water-resistant barrier
- C. 07 92 00 – Joint Sealants: Sealants and caulking
- C. 08 80 00 - Glazing
- D. 08 71 00 – Door Hardware
- E. 09 90 00 - Painting and Coating

### 1.3 REFERENCES

*Specifier Notes: Standards listed by reference including revisions by issuing authority. This article does not require compliance with standards, but is merely a listing of those that may be used.*

- A. American Society for Testing and Materials (ASTM):
  - 1. ASTM E 90 – Standard Test Method for Laboratory Measurement of Airborne Sound Transmission Loss of Building Partitions.
  - 2. ASTM E 283 – Rate of Air Leakage Through Exterior Windows, Curtain Walls and Doors Under Specified Pressure Difference Across the Specimen.
  - 3. ASTM E 330 – Structural Performance of Exterior Windows, Doors, Skylights and Curtain Walls by Uniform Static Air Pressure Difference.
  - 4. ASTM E 331 – Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Uniform Static Air Pressure Difference.
  - 5. ASTM E 413 – Classification for Rating Sound Insulation (STC).
  - 6. ASTM E 547 – Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Cyclic Static Air Pressure Difference.
  - 7. ASTM E 1300 – Standard Practice for Determining Load Resistance of Glass in Buildings.
  - 8. ASTM E 1332 – Standard Classification for Determination of Outdoor-Indoor Transmission Class.
  - 9. ASTM E 2235 – Standard Test Method for Determination of Decay Rates for Use in Sound Insulation Test Methods.
- B. Canadian Standard:
  - 1. CAN4-S104 – Standard Method for Fire Tests of Door Assemblies.
- C. Environmental Protection Agency and Department of Energy:
  - 1. Energy Star Program Requirements Product Specification for Residential Windows, Doors, and Skylights.
- D. Code of Federal Regulations:
  - 1. CFR 1201 Part 2 – Safety Standard for Architectural Glazing Materials.
- E. National Accreditation & Management Institute (NAMI)
- F. National Fenestration Rating Council
  - 1. NFRC 100 – Procedure for Determining Fenestration Product U-Factors.
  - 2. NFRC 200 – Procedure for Determining Fenestration Product Solar Heat Gain Coefficient and Visible Transmittance (VT) at Normal Incidence.
  - 3. NFRC 400 – Procedure for Determining Fenestration Product Air Leakage.
- G. National Fire Protection Association
  - 1. NFPA 252 – Standard Methods of Fire Tests of Door Assemblies
- H. Underwriters Laboratory
  - 1. UL 10B – Standard for Fire Testing Door Assemblies.
  - 2. UL 10C – Standard for Positive Pressure Fire Tests of Door Assemblies.

## 1.4 PERFORMANCE REQUIREMENTS

*Specifier Notes: Performance ratings for doors vary by product, configuration, and size. Current performance information is found at [www.thermatru.com](http://www.thermatru.com). Consult your local Therma-Tru Architectural Sales Specialist for more information. Delete the following performance requirements if not required.*

- A. Doors shall have a structural design pressure rating of DP [ \_\_\_\_ ].
- B. Doors shall have an impact design pressure rating of DP [ \_\_\_\_ ].
- C. Door Unit Air Leakage, NFRC 400, 1.57 psf (25 mph): 0.50 cfm per square foot of frame or less.
- D. Door Unit Water Penetration: No water penetration through door unit when tested in accordance with ASTM E 331 or ASTM E 547 with water applied at rate of 5 gallons per hour per square foot at 0 psf.
- E. Doors shall have a minimum STC rating of [ \_\_\_\_ ] or a minimum OITC rating of [ \_\_\_\_ ].
- F. Doors shall have a positive pressure certified fire door rating of [ \_\_\_\_ ] minutes.
- G. Doors shall have a minimum/maximum U-Value of [ \_\_\_\_ ] and a minimum/maximum SHGC of [ \_\_\_\_ ]
- H. Doors shall qualify for Energy Star Rating.

## 1.5 SUBMITTALS

- A. Refer to Division 01 33 00 Submittal Procedures [Insert division number and title].
- B. Product Data: Submit door manufacturer current product literature, including installation instructions.
- C. Shop Drawings: Submit manufacturer's shop drawings, indicating dimensions, construction, component connections, anchorage methods and locations, accessories, hardware locations, and installation details.
- D. Samples: Submit full-size or partial full-size verification sample of door illustrating glazing system, quality of construction, texture, and color of finish.

## 1.6 QUALITY ASSURANCE

- A. Mockup:
  - 1. Provide sample unit of representative product size and using manufacturer approved installation methods to determine acceptability of door installation methods. Comply with Division 01 43 39 Quality Assurance
  - 2. Approved mockup shall represent minimum quality required for the Work.
  - 3. Approved mockup shall [not] remain in place within the Work.

- C. Quality Assurance Submittals:
  - 1. Provide documentation for specified performance as required.
  - 2. Manufacturers' installation instructions.
- D. Manufacturer Qualifications: Manufacturer shall have successful experience in producing the type of product required for project applications equivalent to the requirements for this project.

*Specifier notes: Therma-Tru manufactures fiberglass door slabs and related components and sources them to distributor and dealer fabricators for system assembly. Fabricators will have successful experience in producing the type of product required equivalent to the project requirements.*

- E. Installer Qualifications:
  - 1. [Optional: Installer holds current credential as a NAMI Certified Installer of Therma-Tru Side Hinged Door Installations and as a Therma-Tru® Certified Installer.]

## **1.7 DELIVERY, STORAGE, AND HANDLING**

- A. Refer to Division 01 60 00 Product Requirements.
- B. Delivery: Deliver materials to site undamaged with labels clearly identifying manufacturer, product name, and installation instructions
- C. Storage: Store materials in an upright position, off ground, under cover, and protected from weather, direct sunlight, and construction activities.
- D. Handling: protect materials and finish during handling and installation to prevent damage.

## **1.8 WARRANTY**

- A. Refer to Division 01 78 36 Warranties
- B. Therma-Tru® standard limited warranty for fiberglass Therma-Tru® Door Product and genuine Therma-Tru® components, including rot-resistant frames, mullions, and brickmould sourced from Therma-Tru (excluding primed pine door frames and oak door frames, and non-rot resistant mullions and brickmould) used in commercial and multi-residential projects will be free from material and workmanship defects for a period of three years subject to certain limitations and restrictions. For complete details and current warranty information go to [www.thermatru.com](http://www.thermatru.com).



## **PART 2 PRODUCTS**

### **2.1 MANUFACTURER**

- A. Basis of design:  
Therma-Tru Corp.  
1750 Indian Wood Circle  
Maumee, OH 43537  
(419) 891-7400  
(800) 843-7628  
www.thermatru.com  
Contact:  
Rod Clark  
458-206-8532  
rclark@thermatru.com
- B. Substitutions: Not permitted
- C. Requests for substitutions will be considered in accordance with provisions of Division 01 60 00.

### **2.2 FIBERGLASS ENTRY DOORS**

- A. Fiberglass Entry Doors: All fiberglass doors manufactured by Therma-Tru®. Specification is for complete entry systems with components manufactured by Therma-Tru® and assembled by independent fabricators.
  - 1. Select: [Smooth-Star®], [20 Min Fire Door]
  - 2. Construction:
    - a. Smooth Star®  
1/16-inch minimum thickness, proprietary fiberglass-reinforced thermoset composite, surface lightly textured. Door edges are machinable kiln-dried pine, primed, lock edge reinforced with engineered lumber core, lockset area reinforced with solid blocking for hardware backup. Door bottom edge is moisture- and decay-resistant composite. Core is foamed-in-place polyurethane, density 1.9 pcf minimum.
    - b. 20 Min Fire Door  
Proprietary cement based core.
  - 3. Door Style
    - c. Smooth-Star®
      - 1. Enter Style Number [SS    ].
- B. Frames: Provided and assembled by third party fabricators to exacting specifications from Therma-Tru to help maximize system performance. Therma-Tru® strongly recommends the use of rot-resistant frames, mullions, and brickmould sourced from Therma-Tru, however, the use of a non

Therma-Tru® frame system (or a Therma-Tru Primed Pine Frame or Therma-Tru Oak Frame) will not automatically void the entire limited warranty. Refer to 1.8.B for clarification.

1. Milled from 5/4 kiln-dried material with profiled ½" stop and 6 degree sill gain prep.
2. Jamb Width [Standard 4 9/16"] Optional: [5 ¼"] [6 9/16"]
3. Rot Resistant – frames, mullions, and brickmould sourced through Therma-Tru.

**D. Sills**

1. Inswing: [Composite Adjustable] [Hardwood Adjustable] [Basic Fixed] [Basic Composite Adjustable]
2. Outswing: [Composite Outswing] [Aluminum with Thermal Break] [Coastal]
3. Other: [Public Access Sill]
4. Finish: [Mill] [Bronze] [Satin nickel]

## **2.3 HARDWARE**

*Specifier Notes: Fiberglass entry doors are available with optional Therma-Tru factory installed multi-point lock; prepped for standard locking hardware; or no bore.*

**A. Hinges, Steel: [adjustable] [ball bearing] [spring loaded] 4 x 4 x 0.098 inches finish to match hardware, plated screws to match**

1. Finish: [US4, Zinc dichromate] [US3, bright brass] [US5, antique brass] [US15, brushed nickel] [US17A, black nickel] [US26, polished chrome] [US10B, oil rubbed bronze] [US32D stainless steel]

*Specifier Notes: Multi-point locking system is optional. Delete if not required.*

**B. Locking Hardware:**

1. Multi-point lock system includes stainless steel face plate: [Lever Style] [Grip Style]
2. Multi-point lock system handle set options Lever Style: [Heirloom] [Venture] [Millennium]
3. Multi-point lock system handle set options Grip Style: [Forte] [Prospect]
4. Finish Lever Style: [US3, bright brass] [US5, antique brass] [US15, brushed nickel] [US17A, black nickel] [US26, polished chrome] [US10B, oil rubbed bronze]
5. Finish Grip Style: [US15, brushed nickel] [US17A, black nickel] [US10B, oil rubbed bronze]

*Specifier Notes: Decorative and specialty glass is standard and included with the select model numbers.*

## **2.4 GLAZING**

1. Therma-Tru factory glazed with double pane Flush Glaze construction.

## **2.5 INSTALLATION ACCESSORIES**

- A. Sill pan
- B. Corner seal pad
- C. Rain deflector

E. Rain Guard

F. Sill Cover

## **PART 3 EXECUTION**

### **3.1 EXAMINATION**

- A. Examine areas to receive doors. Notify Architect in writing any unacceptable conditions that would adversely affect installation or subsequent performance of the product. Do not proceed with installation until unsatisfactory conditions are corrected.

### **3.2 INSTALLATION**

- A. Install fiberglass doors in full compliance with Therma-Tru® written instructions and approved shop drawings.
- B. Install 20 minute doors with permanent fire door certification label in compliance with the requirements of the labeling agency and NFPA.
- C. Maintain alignment and compatibility with adjacent work.

### **3.3 FINISHING**

- A. Finish in compliance with Therma-Tru® written recommendations. Guidance for proper finishing is available at [www.thermatru.com](http://www.thermatru.com) – “Recommendations for Proper Finishing and Painting or Staining.”
- B. Pre-Finish - *PrismaGuard*™ proprietary finish professionally applied in a controlled environment for enhanced durability - **Stain** [Wildflower Honey], [Rustic Clay], [Barley], [New Earth], [Autumn Harvest], [Redwood], [Mulberry], [Driftwood], [Raven].  
**Paint** [Alpine, [Cypress], [Granite], [Ruby Red], [Cabernet], [Indigo], [Chestnut], [Onyx].

### **3.3 Protection**

- A. Protect installed products until completion of project.
- B. Touch-up, repair or replace damaged products prior to Substantial Completion in accordance with Therma-Tru written recommendations. Guidance for proper finishing is available at [www.thermatru.com](http://www.thermatru.com) – “Recommendations for Proper Finishing and Painting or Staining.”

**END OF SECTION**

# WL - Wall Light

# Lumière

## DESCRIPTION

The Lumière Eon LED 303-W1-LEDB1 is a compact, low profile, dimmable LED direct/indirect luminaire. The luminaire features full vertical adjustment (180°) for easy aiming and mounts directly to any wall or ceiling surface over a standard 4" square junction box. It is standard with a universal input LED driver (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver or an optional 0-10V dimming driver. 303-W1-LEDB1 may be used indoors or outdoors and carries an IP66 rating.

|             |  |      |
|-------------|--|------|
| Catalog #   |  | Type |
| Project     |  |      |
| Comments    |  | Date |
| Prepared by |  |      |

## SPECIFICATION FEATURES

### Construction

Head and back plate are precision machined from corrosion-resistant 6061-T6 aluminum. A universal mounting plate and one piece silicone key hole gasket is provided for adaption to junction box or surface. Stainless steel hardware is included.

### Mounting

The luminaire mounts directly to a standard 4" square junction box. For further mounting information see technical notes section on page 2.

### Optical

LightBAR™ and optical assembly are sealed by a diffused, impact resistant tempered glass lens. The optical assembly is available in three distributions: T2 (lateral

throw), T4 (forward throw) and T5X (Extra Wide Flood). Available in several color temperatures: 2700K, 3000K, 3500K, 4000K and TSAM (Amber). Both color temperature and distribution must be specified when ordering – see catalog logic for details. An edge-lit option is available.

### Electrical

The 8.5W 303-W1-LEDB1 is standard with an ELV trailing edge phase dimmable driver that accepts a universal input (120-277, 50/60Hz). It will operate in -40°C to 50°C (-40°F to 122°F). The driver incorporates surge protection. An optional 0-10V dimming driver is also available.

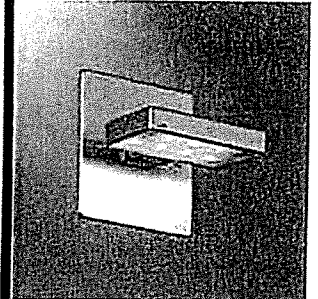
### Finish

The luminaires are double protected by a RoHS compliant chemical film undercoating and polyester

powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available. RAL and custom color matches available upon request. Luminaires can also be brushed with a clear coat finish. The LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing (LCF).

### Warranty

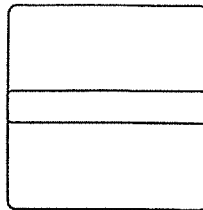
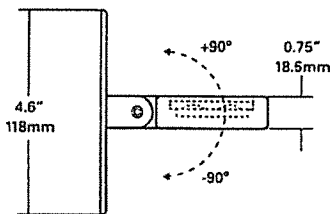
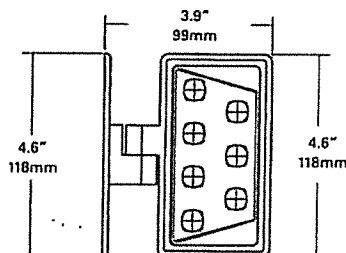
Lumière warrants the EON series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty.



**303-W1-LEDB1**

**EON LED**

**APPLICATIONS:**  
CEILING / WALL MOUNT  
DIRECT  
INDIRECT



**CERTIFICATION DATA**  
UL and cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
IP66 Ingress Protection Rated

**TECHNICAL DATA**  
50°C Maximum Temperature Rating  
External Supply Wiring 90°C Minimum



## ORDERING INFORMATION

Sample Number: 303-W1-LEDB1-2700-UNV-T2-DIM10-BK-EDGE

| Series <sup>1</sup>                                  | Color Temperature   | Input Voltage                     | Optics  | Dimming   | Finish <sup>1</sup>   | Options <sup>2,3</sup>  |
|--|---|-----------------------------------|---|---|---|---|
| 303-W1-LEDB1<br>Head contains one (1) Mini LightBAR™ | 2700=2700K<br>3000=3000K<br>3500=3500K<br>4000=4000K<br>TSAM =Turtle Safe Amber (585-595nm) | UNV=Universal<br>120-277, 50/60Hz | T2=Type II,<br>Lateral Throw<br>T4=Type IV,<br>Forward Throw<br>T5X=Type V,<br>Extra Wide Flood | DIMELV=Trailing Edge Phase<br>DIM10=0-10V Dimming | Painted<br>BK=Black<br>BZ=Bronze<br>CS=City Silver<br>WT=White<br>Premium Finish<br>BA=Brushed<br>NSS=Solid Stainless Steel | EDGE=Edge lit glass lens<br>LCF=LightBAR cover plate matches housing finish |

NOTES: 1 Custom and RAL color matching available upon request. Consult factory for further information. 2 Add suffix in the order shown. 3 LCF option not available when WT (white) finish is selected. 4 DesignLights Consortium™ Qualified and classified for DLC Standard. Refer to [www.designlights.org](http://www.designlights.org) for details on exact qualified EON 303-W1-LEDB1 product as not all configurations are DLC classified.



## LUMEN MAINTENANCE


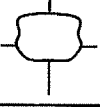
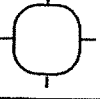
| Ambient Temperature | TM-21 Lumen Maintenance (72,000 Hours) | TM-21 Reported L70(10k) (Hours) | Theoretical L70 (Hours) |
|---------------------|--|---------------------------------|-------------------------|
| 25°C                | > 94%                                  | > 60,000                        | 365,000                 |
| 40°C                |  |                                 |                         |
| 50°C                |  |                                 |                         |

## CURRENT DRAW

| Model        | Line Voltage      | Current Draw |
|--------------|-------------------|--------------|
| 303-W1-LEDB1 | 120-277V, 50/60Hz | 0.088A       |

## LUMENS - CRI/CCT TABLE

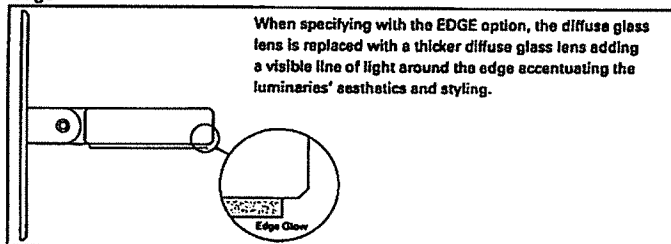
## WL - Wall Light

| Optic Type                | Distribution  | Watts | Delivered Lumens | LPW | CCT (K) / Color | CRI nom./ Wavelength |
|---------------------------|---|-------|------------------|-----|-----------------|----------------------|
| T2<br>(Lateral Throw)     |  | 8.5   | 354              | 42  | 2700            | 95                   |
|                           |   |       | 588              | 71  | 3000            | 75                   |
|                           |   |       | 411              | 50  | 3500            | 85                   |
|                           |   |       | 648              | 77  | 4000            | 75                   |
|                           |   | 6.5   | 180              | 28  | TSAM (Amber)    | 585-595nm            |
| T4<br>(Forward Throw)     |  | 8.5   | 310              | 37  | 2700            | 95                   |
|                           |   |       | 541              | 65  | 3000            | 75                   |
|                           |   |       | 360              | 43  | 3500            | 85                   |
|                           |   |       | 568              | 67  | 4000            | 75                   |
|                           |   | 6.5   | 158              | 24  | TSAM (Amber)    | 585-595nm            |
| T5X<br>(Extra Wide Flood) |  | 8.5   | 381              | 46  | 2700            | 95                   |
|                           |   |       | 663              | 80  | 3000            | 75                   |
|                           |   |       | 443              | 53  | 3500            | 85                   |
|                           |   |       | 698              | 83  | 4000            | 75                   |
|                           |   | 6.5   | 194              | 30  | TSAM (Amber)    | 585-595nm            |

NOTES: 1 When the LCF option is selected use a lumen multiplier of .85

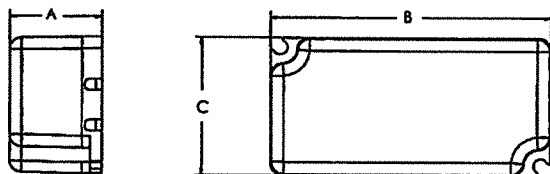
## OPTIONS

### Edge



## TECHNICAL NOTES

1. Junction box size and depth is important when specifying product. Recommended junction boxes include 2-1/8" deep, 4" square weld/drawn Crouse Hinds part numbers TP403, TP434, TP494, TP195, TP395 or equivalent. Use with included universal mounting plate or with Crouse-Hinds part number TP480 or equivalent cover with similar fixture mounting locations.
2. The universal wall plate provided with all EON wall mount fixtures can be used with an outdoor rated two gang 30.5 cubic inch capacity outlet box. Cooper Crouse-Hinds part numbers TP7086 - TP7122 or equivalent. The universal mounting plate will attach with four (4) 6-32 pan head/flat stainless steel screws (not provided).
3. Driver can be remote mounted in a junction box a max distance of 25 feet (voltage drop needs to be considered) or placed in the junction box behind the luminaire.
4. When specifying with the EDGE option, the diffused glass becomes thicker adding a visible line of light around the edge accentuating the luminaries' aesthetics and styling.
5. If Luminaire will not be dimmed, the Luminaire must be ordered with DIMELV option, but does not have to be dimmed.
6. Driver Dimensions:



| Luminaire Type | Dimming Type | Driver Dimensions in [mm] |             |             |
|----------------|--------------|---------------------------|-------------|-------------|
|                |              | A                         | B           | C           |
| 303-W1-LEDB1   | DIMELV       | .98 [25.0]                | 2.78 [70.6] | 1.14 [28.9] |
|                | DIM10        | .98 [25.0]                | 3.36 [85.3] | 1.49 [37.9] |

DR19-02

Artist Rendering









Columbia River

32nd Street

31st Street

30th Street

29th Street

28th Street

27th Street

26th Street

25th Street

24th Street

23rd Street

22nd Street

21st Street

20th Street

19th Street

18th Street

17th Street

16th Street

15th Street

14th Street

13th Street

12th Street

11th Street

10th Street

9th Street

8th Street

7th Street

6th Street

5th Street

4th Street

3rd Street

2nd Street

1st Street

0th Street

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-246th Street

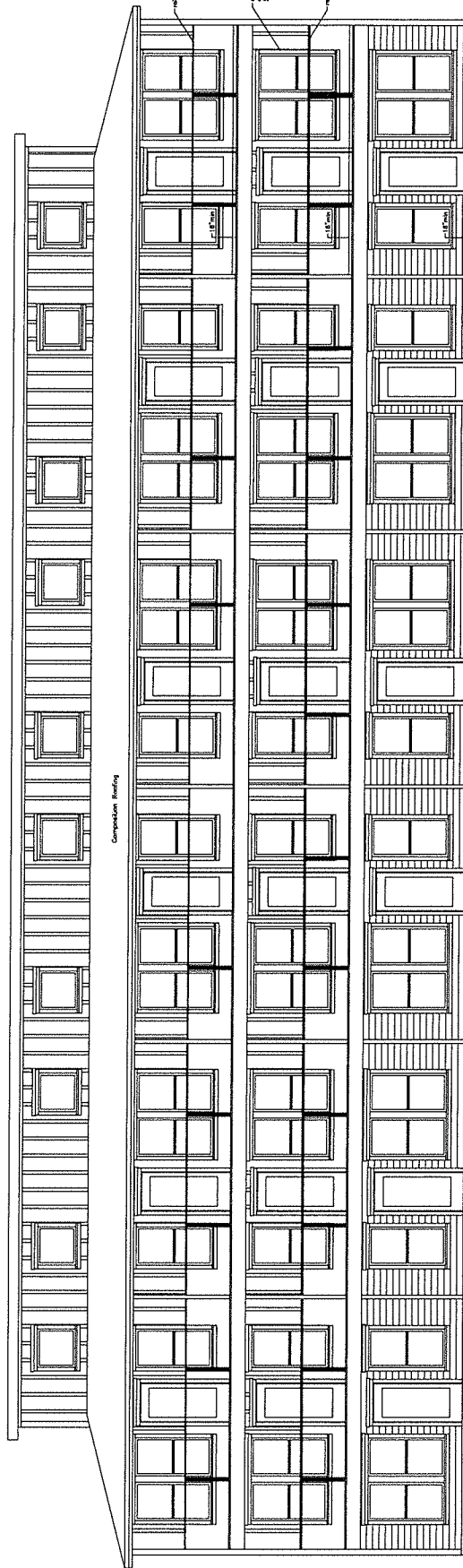
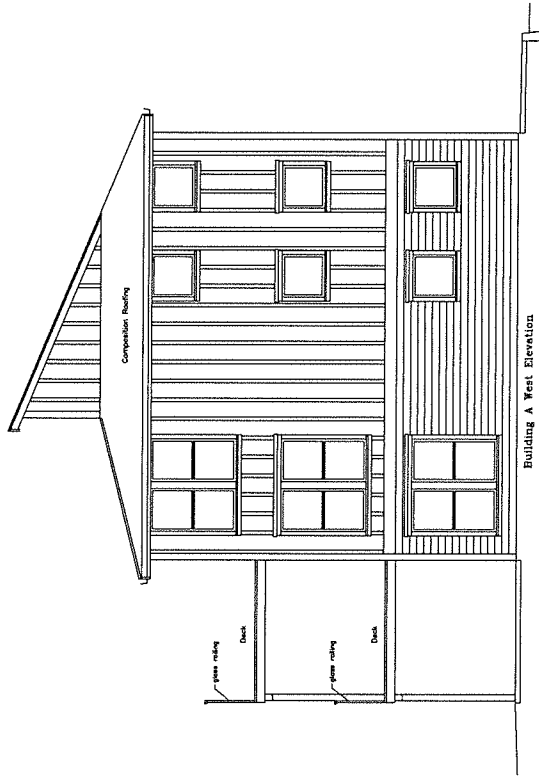
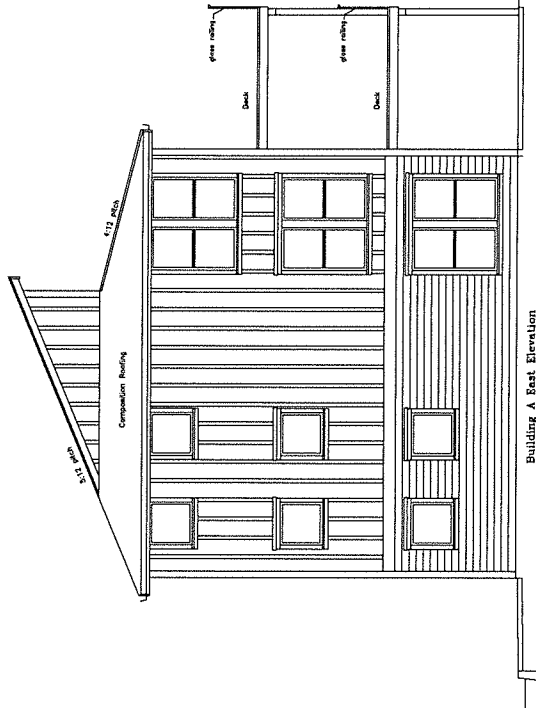
-247th Street

-248th Street

-249th Street

-250th Street





**Elevations Elevations  
Building A  
Northpost  
66 Unit Apartment  
Complex  
461 32nd Street  
Astoria, Oregon 97103**

**for**

**Walt Postlewait**  
wpostlewait@gmail.com  
Ph. 503-731-7179 Fax. 201  
Ph. 503-731-7536  
Astoria, Oregon 97103

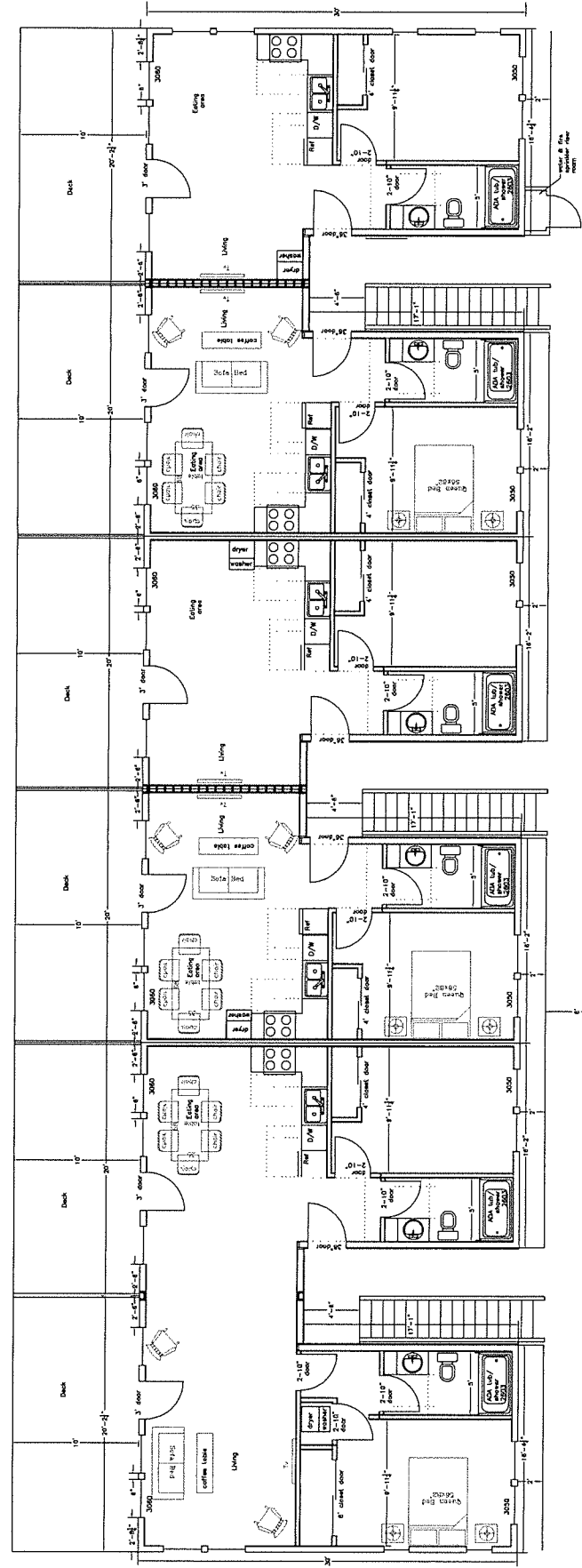
**Mend Engineering LLC**  
#BAGGAS OCEAN DRIVE  
WARRENTON, OREGON 97146  
Ph. 503-728-7536  
Email: mendengr.com  
Sinks 1 1/4"

EXPIRES 12/31/2020  
Sent: 31 Jul 2019  
Revised: 1/02/2019  
Accepted: 1/02/2019  
Barcode: 6/02/2019

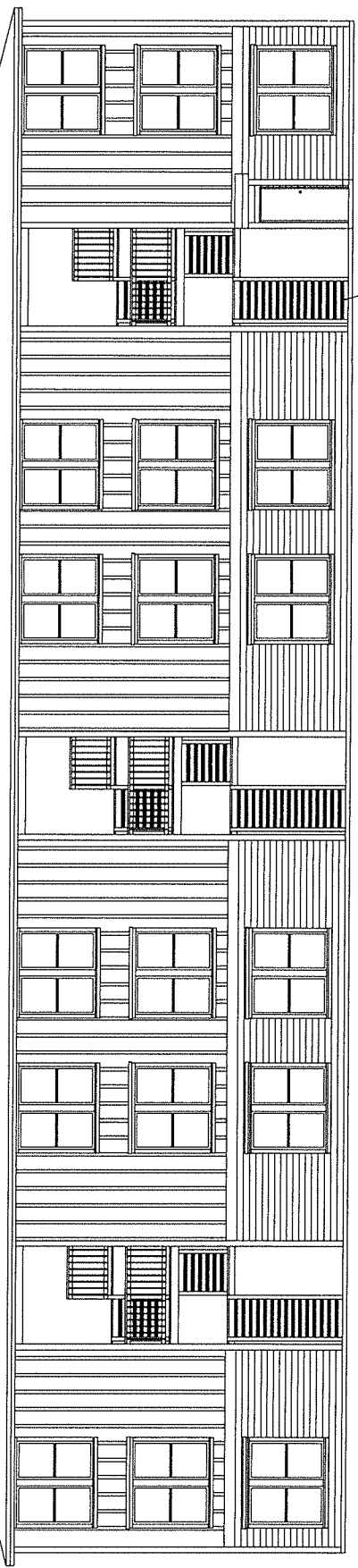
**Building A North Elevation**



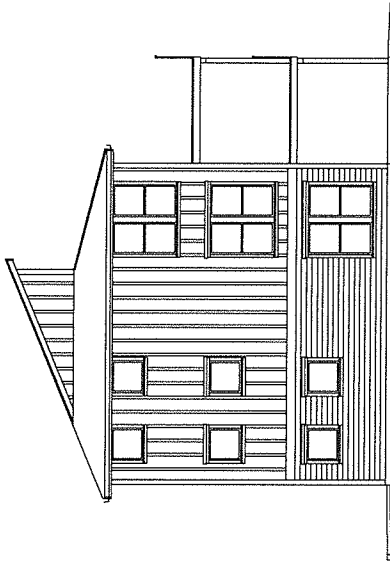
**Floor Plan & Elevation**  
**Building A**  
**Northpost**  
**Complex**  
**66 Unit Apartment**  
**for**  
**Walt Postlewait**  
Walt Postlewait  
12481 NE 12th Ave, Suite 201  
Portland, Oregon 97230  
Phone: 503-231-1179 ext 201  
Fax: 503-231-1179  
Email: walt@postlewait.com  
Scale: 1/4" = 1'-0"  
Sheet 2 of 12



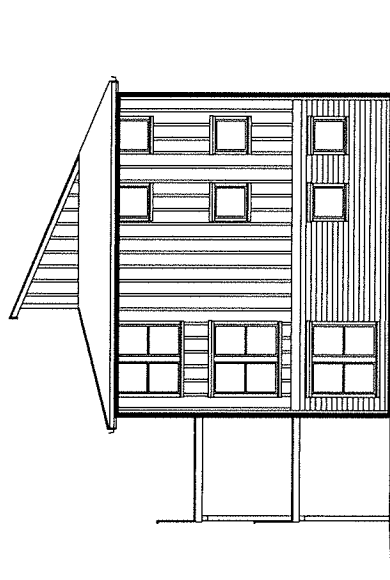
Building A Floor Plan  
3,226 sq ft first floor



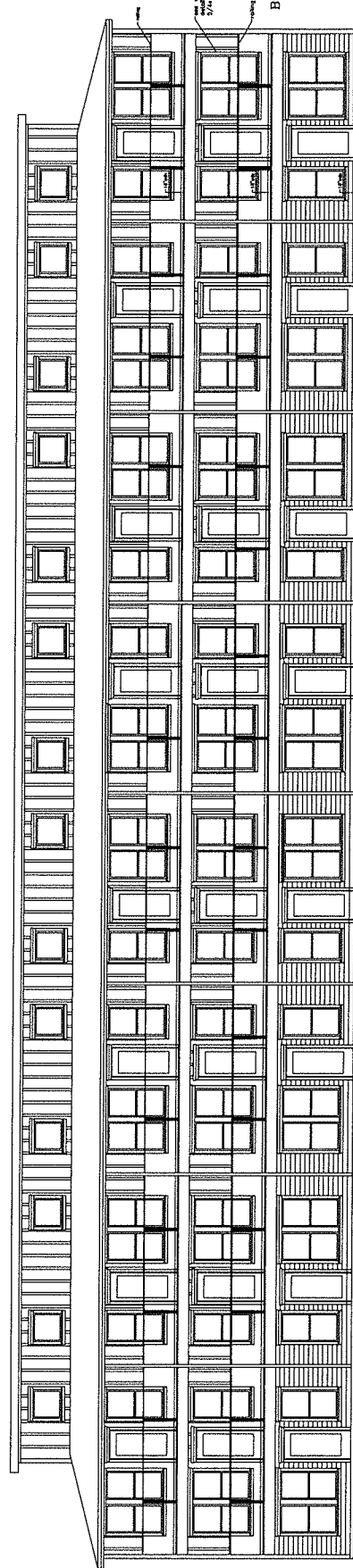
Building A South Elevation  
Page 2



Building B East Elevation



Building B West Elevation



Building B North Elevation

Front face area: 4,180 sqft  
 Back face area: 1,175 sqft  
 Maximum height: 15' 6" above  
 Maximum height of roof: 15' 6" above  
 Maximum height of roof: 15' 6" above  
 All windows shall be clear glass



Professional Engineer  
 State of Oregon  
 No. 17103  
 Date: 6/25/2018

Building Elevations  
 Building B  
 Northpost  
 Northpost  
 66 Unit Apartment  
 Complex

for

Wait Postlewait  
 waitpostlewait@gmail.com  
 10000 River Road SE  
 Portland, Oregon 97206

Matthew  
 Mendenhall  
 Mendenhall LLC

89843 Ocean Drive  
 Warrenton, Oregon 97146

Email: mendenhall@waitpostlewait.com

Scale: 3/16"=1'

Page 8 of 12

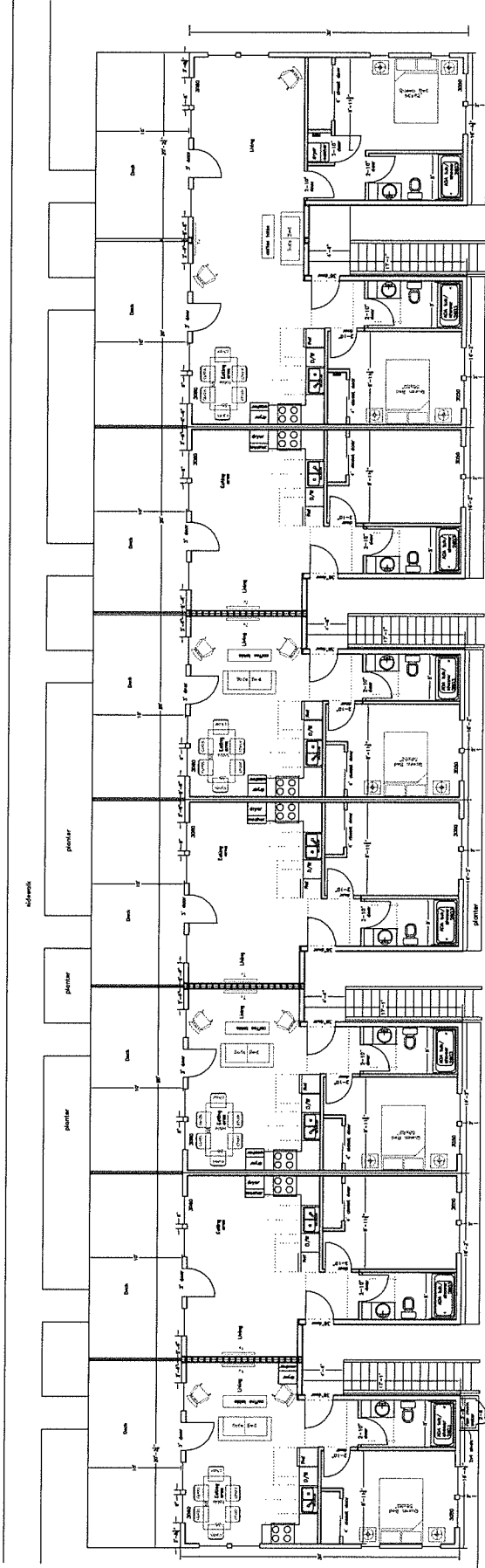


EXPIRES 12/31/2020  
DATE: 11 Jan. 2018  
PROJECT: 2/27/2018  
PROJECT: 6/22/2018

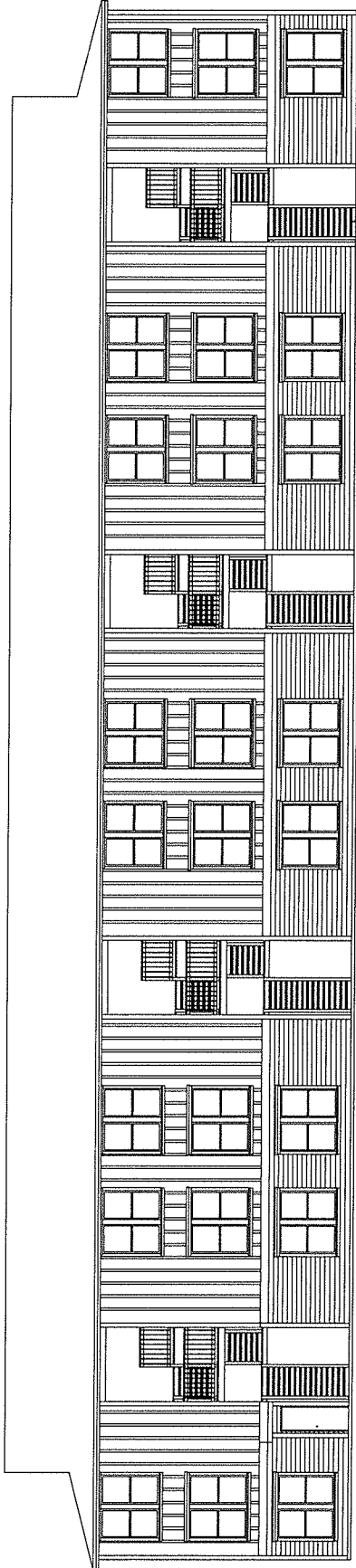
Floor Plan & Elevation  
Building B  
Northpost  
86 Unit Apartment  
Complex  
Astoria, Oregon 97103

for  
Wall Postlewait  
Wall Postlewait LLC  
1000 NE Oregon Street, Suite 100  
Astoria, Oregon 97103  
Phone: 503-325-1700 ext. 201  
Fax: 503-325-1700 ext. 202  
Email: mark@wallpostlewait.com

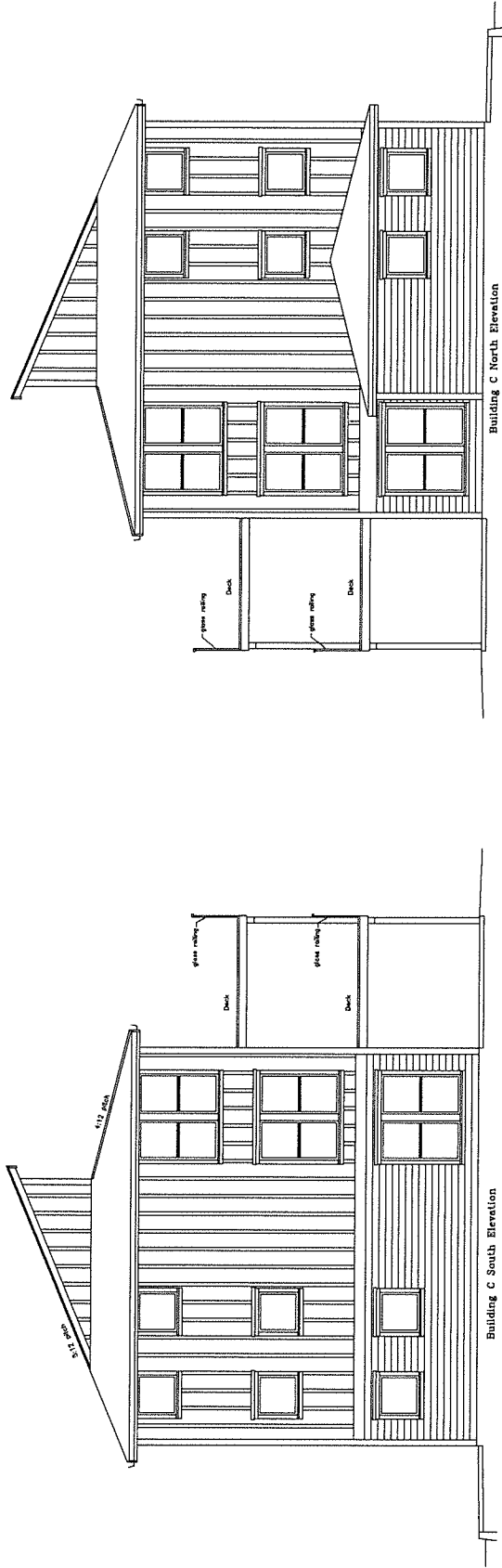
Mark  
Postlewait LLC  
89643 OCEAN DRIVE  
WARMSPRING, OREGON 97146  
Phone: 503-325-1700 ext. 201  
Fax: 503-325-1700 ext. 202  
Email: mark@wallpostlewait.com  
Scale: 3/8"=1' Sheet 7 of 12



Building B Floor Plan  
4,303 sqft (net floor)

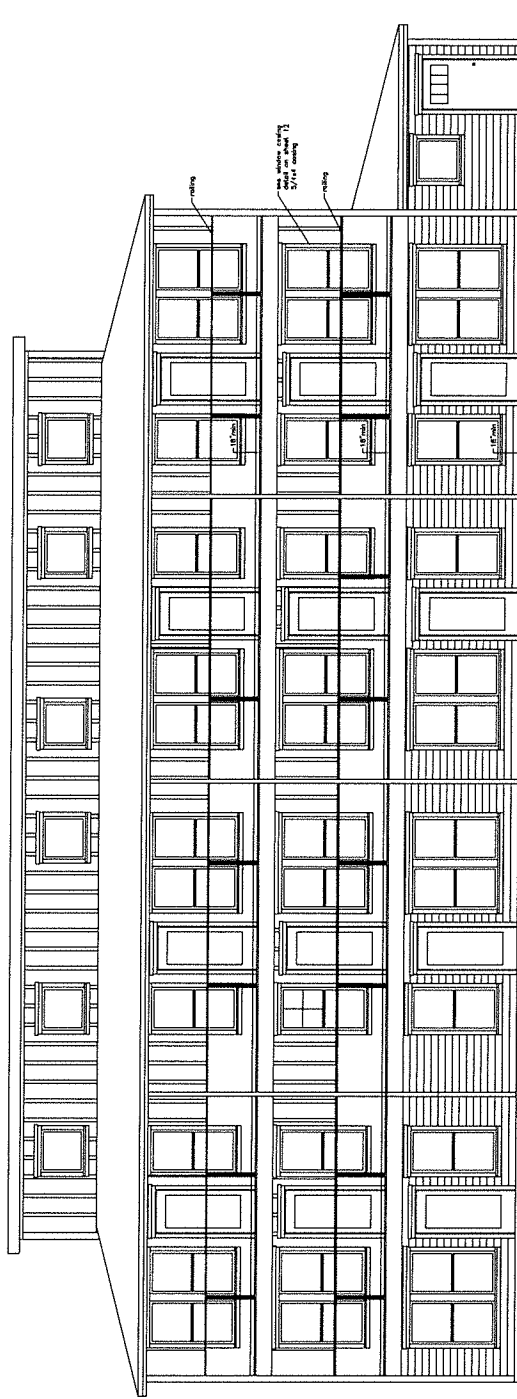


Building B South Elevation  
(floor 1)



Building C North Elevation

Building C South Elevation



Building C East Elevation

Grid from area 1137 and 1138  
 Bottom of window is a minimum of 1" above  
 railing in adjacent lower window frame profile  
 All windows shall be clear glass

Building Elevations  
 Building C  
 Northpost  
 Unit Apartment  
 Complex

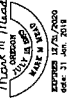
for  
 Walt Postlewait

Warrenton, Oregon 97146  
 Phone: 503-231-2170 ext 201  
 Fax: 503-231-2170  
 Email: wpostlewait@comcast.net

Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146

Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146

Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146



Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146

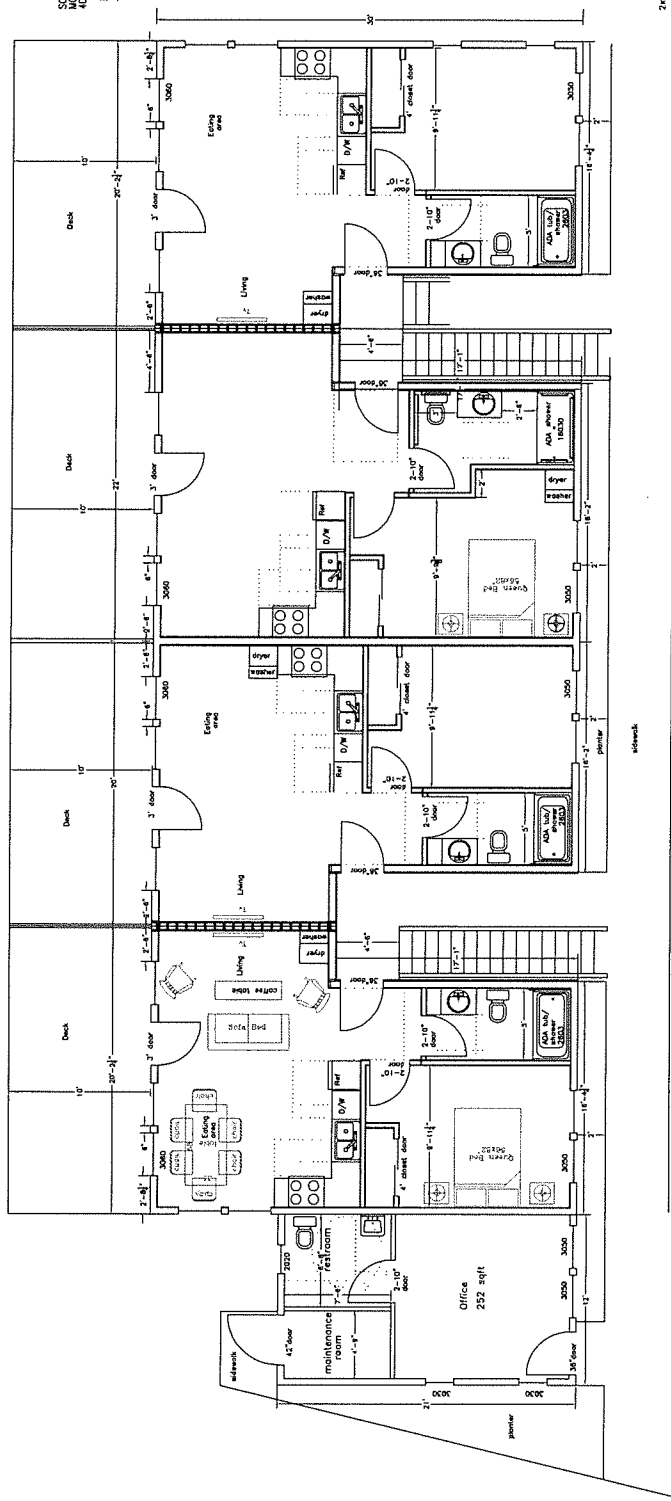
Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146

Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146

Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146

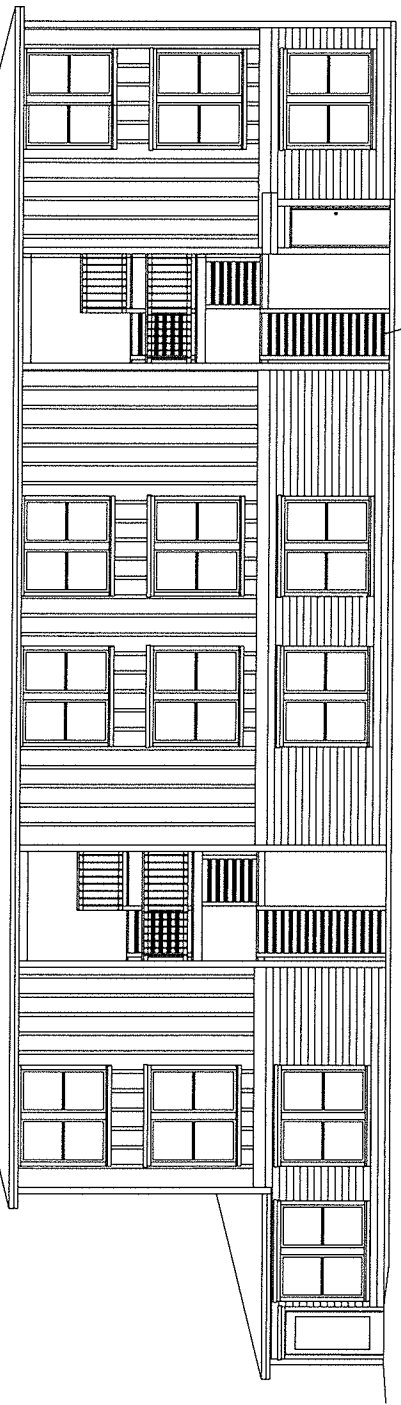
Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146

Architect  
 M. J. Postlewait LLC  
 8842 Ocean Drive  
 Warrenton, Oregon 97146

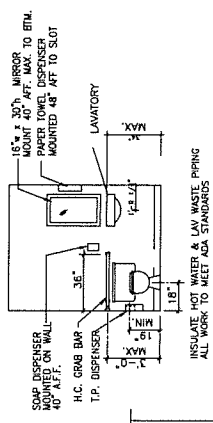


Building C floor plan  
2,209 sq ft first floor

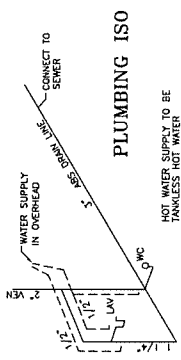
3.12 plan  
corner railing



West Elevation  
(Elev 1)

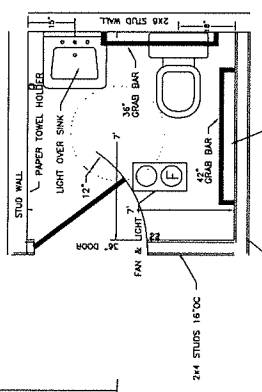


INSULATE HOT WATER & LAV WASTE PIPING  
ALL WORK TO MEET ADA STANDARDS



PLUMBING ISO

HOT WATER SUPPLY TO BE  
TANKLESS HOT WATER



244 STUDS 16" OC

RESTROOM TO MEET HANCOCK REQUIREMENTS  
GRAB BARS TO BE 33"-36" FROM FLOOR  
WATER CLOSET SEAT TO BE 17"-18" FROM FLOOR  
HOT WATER SUPPLY & DRAIN TO BE INSULATED  
HOT WATER SUPPLY & DRAIN TO BE OPERATED ON PUSH TYPE  
HANDLE TO BE LOCATED ON TOP OF RESTROOM  
OVER TOP OF RESTROOM  
HALLWAY TO BE 3' FROM WALL  
USING HANCOCK 1000

INTERIOR WALLS TO BE 6" TOP WITH  
GREEN BOARD (W/9) 6" TOP WITH 2"  
OF WATER CLOSET. ALL WITH EMERALD PAINT  
TILES TO BE 12" x 12" WITH 1/4" ON  
FLOOR TO BE CONC. WITH WALL ON  
TILE COVERING. CLOSET BARS TO BE 6" TALL

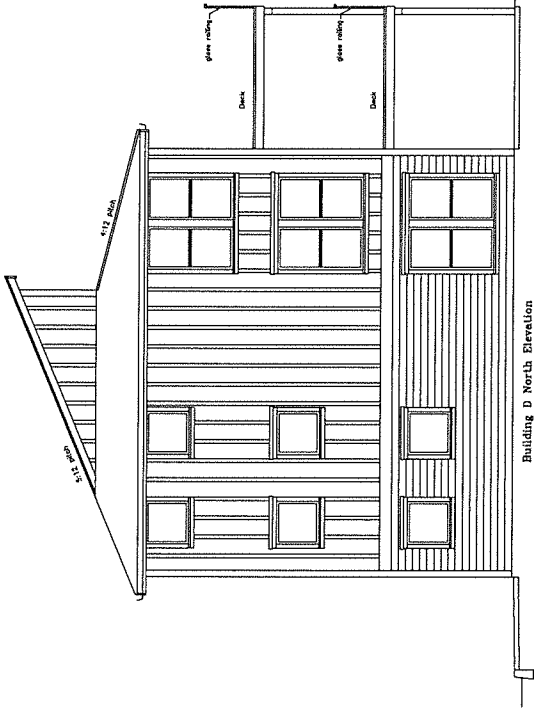
RESTROOM DETAIL  
SCALE 1/2" = 1'

Floor Plan & Elevation  
Building C  
Northpost  
66 Unit Apartment  
Complex  
Astoria, Oregon 97103

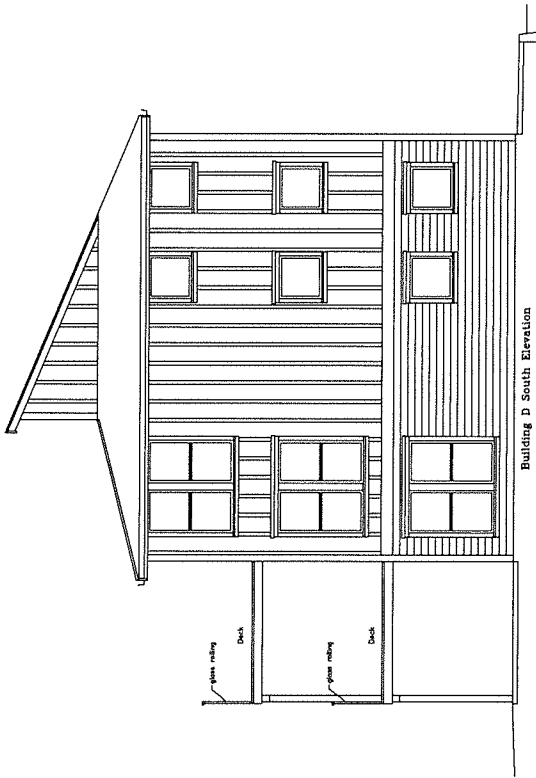


for  
Mark Postlewait  
Architect  
12345 Main St.  
Astoria, Oregon 97103  
Phone: 503-325-1234  
Email: mark@postlewait.com  
Project: 66 Unit Apartment  
Complex  
6/22/2018  
Scale: 1/2" = 1'  
Sheet 8 of 12

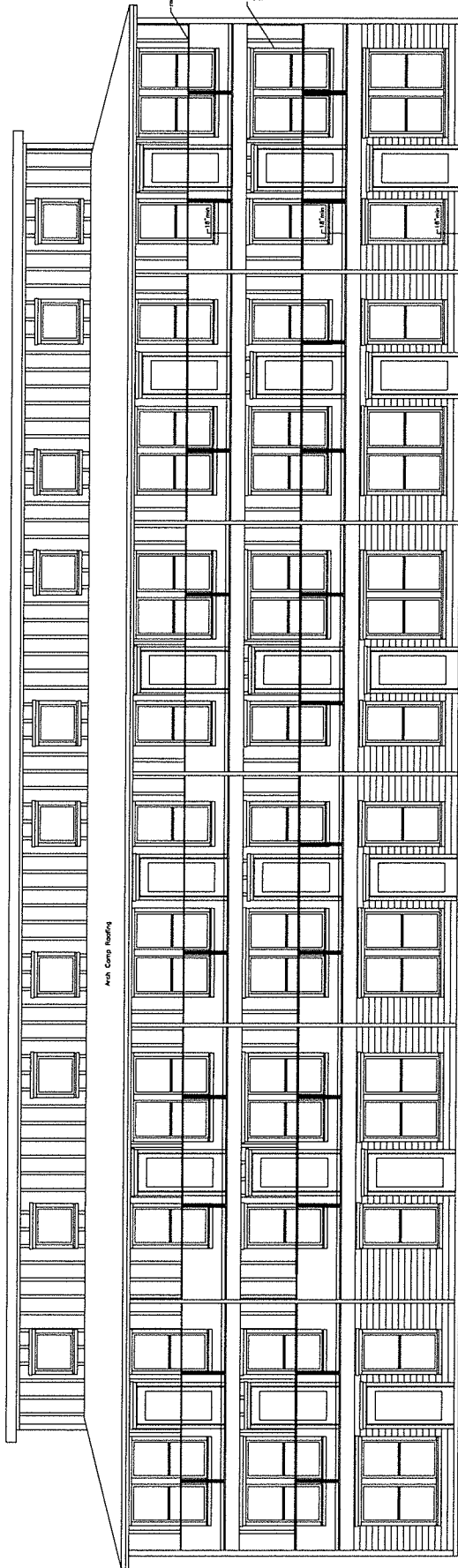




Building D North Elevation



Building D South Elevation



Building D West Elevation

Architect: 1/2" = 1'-0"  
 Window: 1/2" = 1'-0"  
 Door: 1/2" = 1'-0"  
 Stair: 1/2" = 1'-0"  
 All windows and doors are shown in their open position.  
 All windows and doors are shown in their open position.

Exterior Elevations  
 Building D  
 Northpost  
 Complex

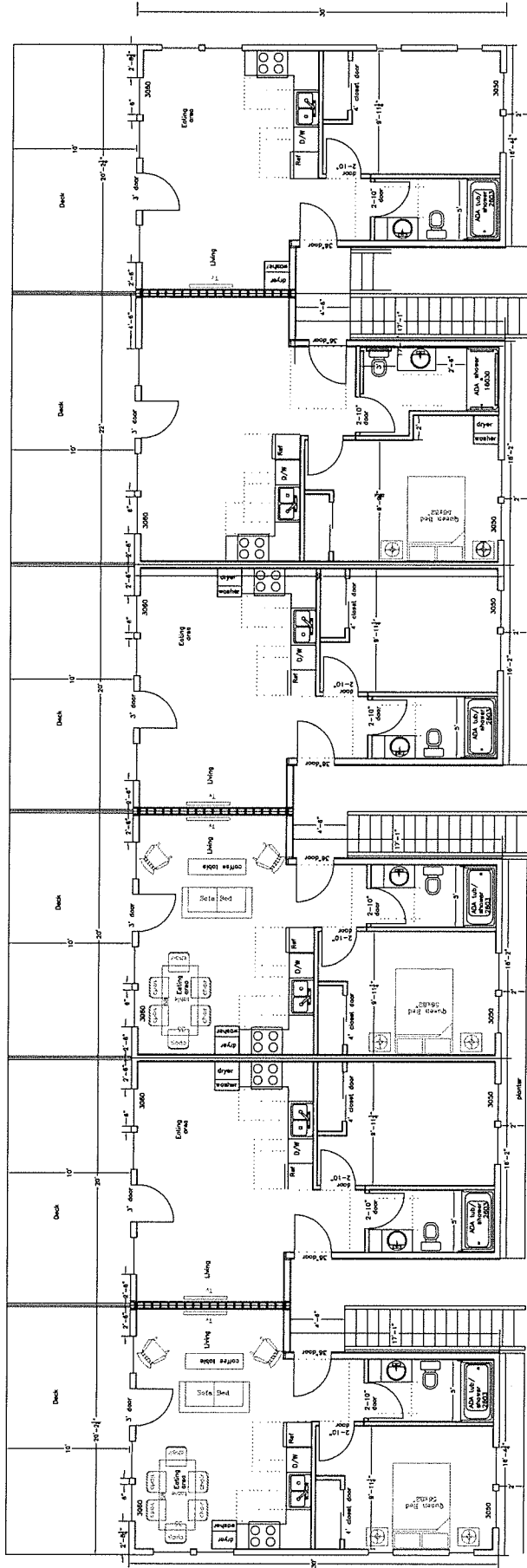
for

Walt Postlewait  
 88413 OSCAR DRIVE  
 WARREN, OREGON 97146  
 Phone: 503-235-2700 ext. 201  
 Fax: 503-235-2700  
 Email: walt@postlewait.com

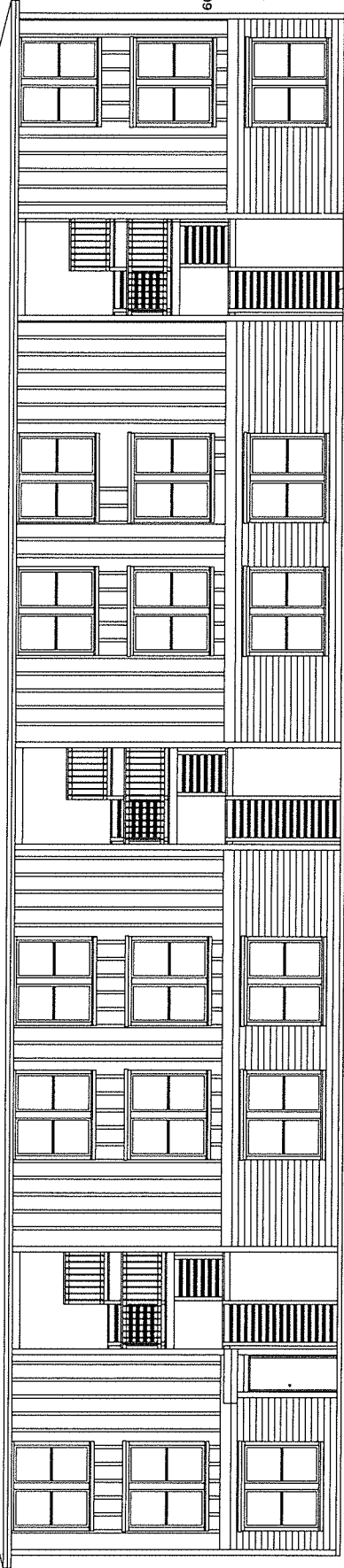
Met  
 88413 OSCAR DRIVE  
 WARREN, OREGON 97146  
 Phone: 503-235-2700 ext. 201  
 Fax: 503-235-2700  
 Email: met@postlewait.com

Scale: 1/4" = 1'-0"  
 Set: 10 of 13





Building D floor plan  
3,278 sqft first floor



East Elevation



EXPIRES 12/31/2020  
Seal No. 12345  
Mark Postlewait  
Architect

Floor Plan & Elevations  
Building D  
Northpost  
Unit Apartment  
Complex

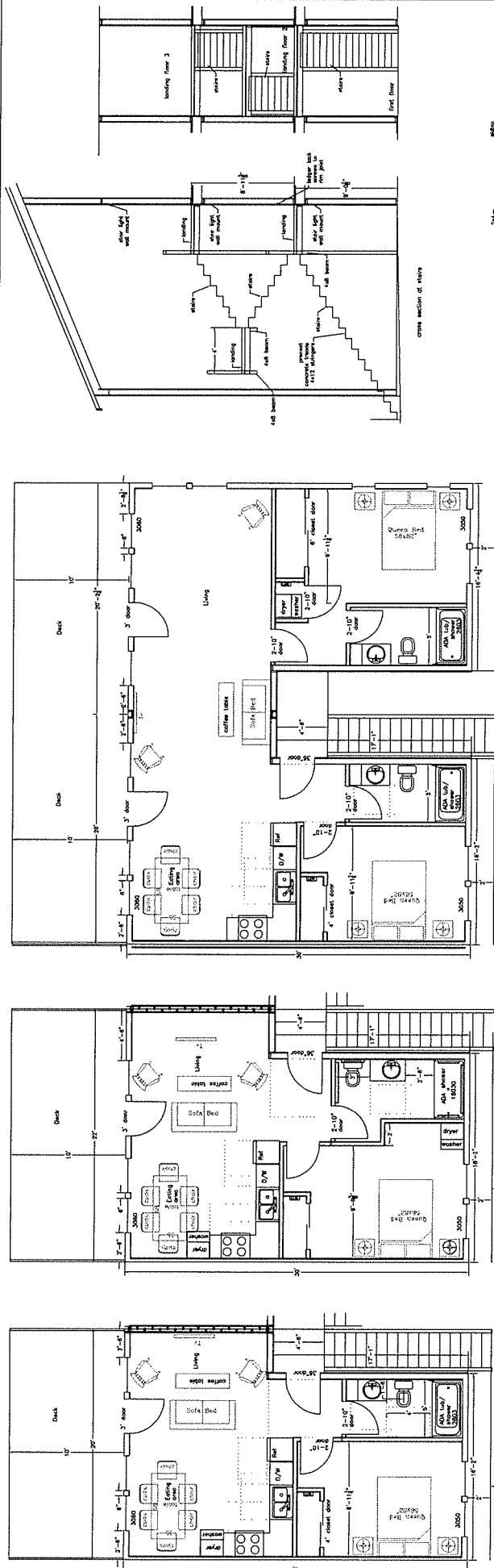
for  
Wait Postlewait

Wait Postlewait  
Architect  
1111 1st St.  
Astoria, Oregon 97103  
Phone: 503-325-1111  
Fax: 503-325-1112  
Email: mark@waitpostlewait.com

Mark Postlewait LLC  
6644 Ocean Drive  
Warrenton, Oregon 97146  
Phone: 503-862-3333  
Email: mark@waitpostlewait.com

Scale: 1/4" = 1'-0"

Sheet 11 of 12



**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

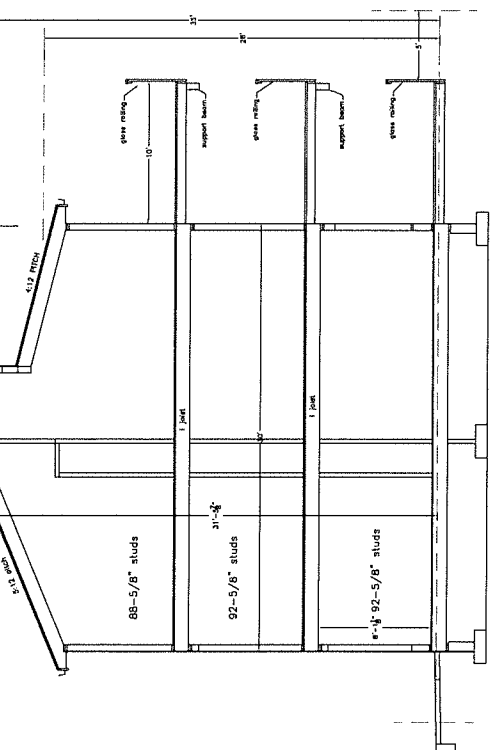
**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

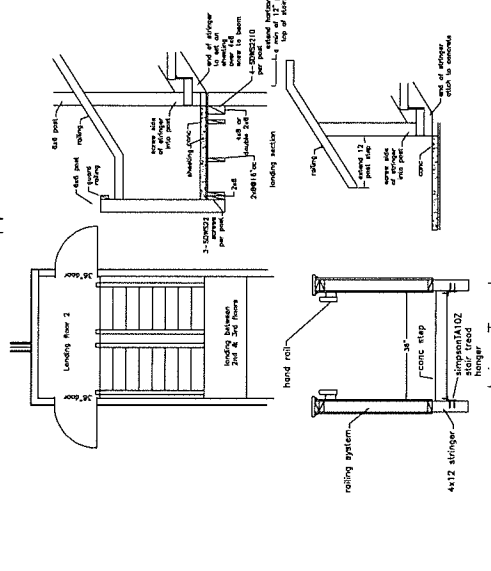
**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

**Floor Plan**  
Type A unit  
334 sq ft  
End of building only

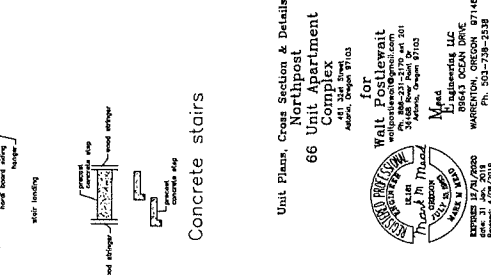
**Floor Plan**  
Type A unit  
334 sq ft  
End of building only



**Cross Section**



**Stair Treads**

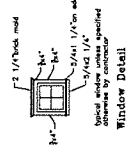


**Concrete stairs**

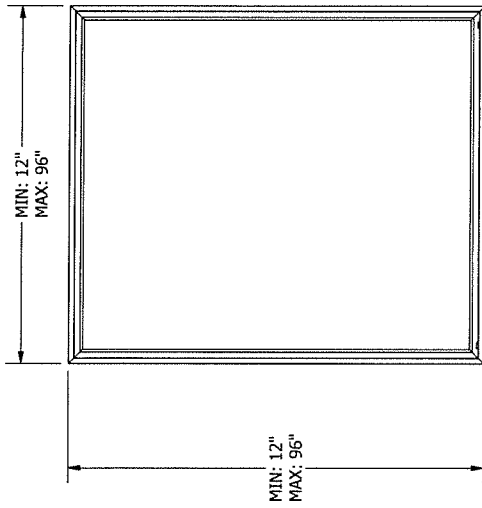
**Unit Plans Cross Section & Details**  
Northport  
66 Unit Apartment  
Complex

for  
Walt Postlewait  
Walt Postlewait & Associates, Inc.  
1000 N. 10th St., Suite 100  
Astoria, Oregon 97103  
Phone: 325-2310 ext. 201  
Fax: 325-2310 ext. 202  
E-mail: wpostlewait@comcast.net

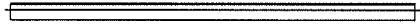
Mod  
Kaiser Steel  
88641 OCEAN DRIVE  
WARRENTON, OREGON 97146  
Phone: 866-221-2211  
Fax: 866-221-2212  
E-mail: mod@kaisersteel.com  
Scale: 1/4" = 1'-0"



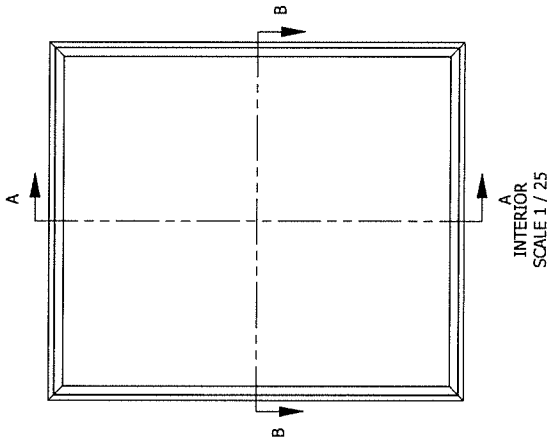
**Window Detail**



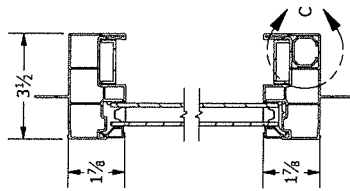
EXTERIOR  
SCALE 1 / 25



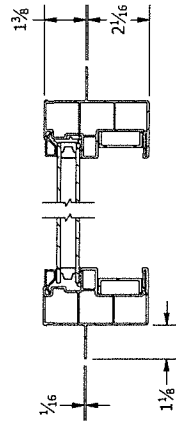
JAMB  
SCALE 1 / 25



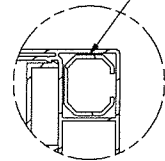
INTERIOR  
SCALE 1 / 25



SECTION A-A  
SCALE 1 / 4



SECTION B-B  
SCALE 1 / 4

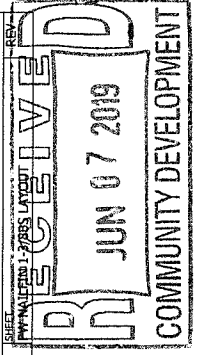


DETAIL C  
SCALE 1 / 2



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|            |                     |        |          |
|------------|---------------------|--------|----------|
| TOLERANCE  | DRAWN               | DATE   | 4/9/2018 |
| DETAIL     | UPDRAFT             |        |          |
| XX ± 0.005 | CHECKED             |        |          |
| XX ± 0.010 | APPROVED            |        |          |
| XX ± 0.025 |                     |        |          |
| XX ± 0.005 |                     |        |          |
| FRACTIONAL | SIZE                | SCALE  | SHEET    |
| X/4 ± 1/32 | B                   | 1 / 25 | 1 of 1   |
| ANGULAR    | PRODUCT FAMILY      |        |          |
| X ± 1.0°   | 530 - 591 ENDURANCE |        |          |
| XX ± 0.2°  | PROJECT             |        |          |



**YOU ARE RECEIVING THIS NOTICE BECAUSE THERE IS A  
PROPOSED LAND USE APPLICATION NEAR YOUR PROPERTY IN ASTORIA**

**CITY OF ASTORIA  
NOTICE OF PUBLIC HEARING**

Mail 6-17-19  
Email 6-17-19  
Web 6-17-19  
Pub for 7-4-19

The City of Astoria Design Review Committee will hold a public hearing on Thursday, July 11, 2019 at 5:30 p.m., at Astoria City Hall, Council Chambers, 1095 Duane Street, Astoria. The purpose of the hearing is to consider the following request(s):

1. Design Review (DR19-02) by Walt Postlewait to construct four buildings of 66 mixed apartment/transient lodging units at 461 32nd Street (Map T8N-R9W Section 9BD, Tax Lots 800, 901, 1000; north 75' Lots 1 to 6, Block 149, Shively; and unplatted lots fronting on Block 149, Shively) within the Gateway Overlay Zone and Civic Greenway Overlay Zone in the C-3 Zone (General Commercial). Development Code Standards specified in Sections 2.385 to 2.415, 14.005 to 14.030 (Gateway Overlay), 14.035 to 14.075 (Civic Greenway Overlay), Articles 6, 7, 9, and Comprehensive Plan Sections CP.005 to CP.028, CP.057 to CP.058 (Gateway Area Plan), CP.067 to CP.068 (Riverfront Vision Overlay), CP.070 to CP.075 (Uppertown Area), CP.190 to CP.210 (Economic Element), and CP.215 to CP.230 (Housing) are applicable to the request.

A copy of the application, all documents and evidence relied upon by the applicant, the staff report, and applicable criteria are available for inspection at no cost and will be provided at reasonable cost. A copy of the staff report will be available at least seven days prior to the hearing and are available for inspection at no cost and will be provided at reasonable cost. All such documents and information are available at the Community Development Department at 1095 Duane Street, Astoria. If additional documents or evidence are provided in support of the application, any party shall be entitled to a continuance of the hearing. Contact Community Development, at 503-338-5183 for additional information.

The location of the hearing is accessible to the handicapped. An interpreter for the hearing impaired may be requested under the terms of ORS 192.630 by contacting the Community Development Department at 503-338-5183 48 hours prior to the meeting.

All interested persons are invited to express their opinion for or against the request(s) at the hearing or by letter addressed to the Design Review Committee, 1095 Duane St., Astoria OR 97103. Testimony and evidence must be directed toward the applicable criteria identified above or other criteria of the Comprehensive Plan or land use regulation which you believe apply to the decision. Failure to raise an issue with sufficient specificity to afford the Design Review Committee and the parties an opportunity to respond to the issue precludes an appeal based on that issue.

The Design Review Committee's ruling may be appealed to the City Council by the applicant, a party to the hearing, or by a party who responded in writing, by filing a Notice of Appeal within 15 days after the Design Review Committee's decision is mailed. Appellants should contact the Community Development Department concerning specific procedures for filing an appeal with the City. If an appeal is not filed with the City within the 15 day period, the decision of the Design Review Committee shall be final.

The public hearing, as conducted by the Design Review Committee, will include a review of the application and presentation of the staff report, opportunity for presentations by the applicant and those in favor of the request, those in opposition to the request, and deliberation and decision by the Design Review Committee. The Design Review Committee reserves the right to modify the proposal or to continue the hearing to another date and time. If the hearing is continued, no further public notice will be provided.

THE CITY OF ASTORIA

MAIL: June 17, 2019



Tiffany Taylor  
Administrative Assistant